Habitat for Humanity

560 8th Street
Castlegar, BC

GENERAL NOTES:

1. ALL WORK TO CONFORM TO THE BRITISH COLUMBIA BUILDING CODE LATEST EDITION, LOCAL CODES AND BY-LAWS OF AUTHORITIES HAVING JURISDICTION.
2. ALL WORK TO BE PERFORMED WITH RESPECT TO GOOD BUILDING PRACTICES.
3. CONTRACTOR TO CAREFULLY INSPECT THE SITE OF WORK AND BE FULLY INFORMED OF EXISTING CONDITIONS AND LIMITATIONS
4. NO WORK TO COMMENCE WITHOUT PROPER PERMITS AND LICENSES.
5. MEASUREMENTS, GRADES AND LEVELS ARE TO BE VERIFIED AT THE SITE BEFORE CONSTRUCTION.
6. CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS, ELEVATIONS, DRAWINGS, DETAILS AND SPECIFICATIONS AND REPORT ALL ERRORS OR DISCREPANCIES TO THE OWNER PRIOR TO PROCEEDING WITH THE WORK.
7. CONTRACTOR TO VERIFY LOCATIONS AND DETAILS OF ALL CONCEALED SERVICES. PROTECT AND RELOCATE WHERE INDICATED ALL SERVICES FROM DAMAGE DURING CONSTRUCTION PERIOD..
8. CONTRACTOR TO MAKE GOOD AND REPAIR ALL EXISTING PARTS AND SURFACES DAMAGED BY DEMOLITION OR NEW CONSTRUCTION, REFINISH TO MATCH SURROUNDING AREA BETWEEN CORNERS OR ABUTMENTS COMPLETE.
9. DEMOLISH WHERE NOTED, AND REMOVE DEBRIS FROM SITE, MINIMIZE DISRUPTION TO NEIGHBOURS. ALL SALVAGE MATERIAL (TO BE CONFIRMED BY OWNER) REMAIN THE PROPERTY OF THE OWNER UNLESS OTHERWISE NOTED.
10. VERIFY LOCATION OF ALL UNDERGROUND LINES WITHIN THE AREA OF CONSTRUCTION PRIOR TO COMMENCING EXCAVATION. NOTIFY OWNER AT TIME OF EXCAVATION.
11. DETERMINE LOCATION OF PARTITIONS NOT DIMENSIONED BY THEIR RELATION TO COLUMN FACE OR CENTRE, WINDOW JAMB OR MULLION, OR OTHER SIMILAR FIXED ITEM.
12. DO NOT DRILL OR CUT FLOOR JOISTS, BEAMS, COLUMNS OR OTHER STRUCTURAL ELEMENTS UNLESS SPECIFICALLY INDICATED. DRILL SLABS WHERE APPROVED. CORE DRILL CIRCULAR OPENINGS THROUGH SLABS. LINE DRILL OR SAW CUT RECTANGULAR OPENINGS.
13. PROVIDE BLOCKING FOR SOLID BACKING BEHIND ALL WALL AND CEILING MOUNTED DOOR HARDWARE, ACCESSORIES, MILLWORK, PLY EDGES, MISC. METAL ITEMS, GYPSUM BOARD EDGES ETC.
14. TAPE, FILL AND SAND ALL NEW G.W.B.
15. INSTALL CARBON MONOXIDE DETECTORS TO SATISFY BCBC 2018 (9.32.4.2 'CARBON MONOXIDE ALARMS')
16. ALL FLASHING TO BE PREFINISHED TO SUIT OWNERS COLOUR SCHEME. FLASHING TO BE INSTALLED AT ALL CHANGES IN HORIZONTAL EXTERIOR FINISHES AND OVER ALL UNPROTECTED EXTERIOR OPENINGS. CAULKING TO BE INSTALLED AROUND ALL UNFLASHED EXTERIOR OPENINGS. FLASHING TO BE INSTALLED AT ALL PENETRATIONS IN THE ROOF SYSTEM AND AT ALL CHANGES IN THE ROOF PLANE.
17. VAPOUR BARRIER TO MIN. 6 MIL. SEAL ALL JOINTS AND HOLES TO PREVENT LEAKAGE. PROVIDE ALSO 12" WIDE LAPS BELOW SLAB ON GRADE.
18. A FREE VENT AREA OF 1/300 OF THE INSULATED ATTIC AREA SHALL BE PROVIDED AT THE ROOF, APPROXIMATELY HALF FROM THE EAVES AND HALF FROM THE TOP. (WITH NOT LESS THAN 25% OF THE OPENINGS AT THE TOP OF THE SPACE & NOT LESS THAN 25% OF THE OPENINGS AT THE BOTTOM OF THE SPACE. SEE BCBC 2018 9.19 ROOF SPACES)
19. PROVIDE GASKET TO U/S OF SILL PLATES. (POLYETHYLENE FILM OR TYPE S ROLL ROOFING)
20. DESIGN AND FINISHING INTENT TO REACH MINIMUM STEP 3 OF BC ENERGY STEP CODE

FIELD REVIEWS:

1. WSA ENGINEERING (2012) LTD. (WSA) PROVIDES FIELD REVIEW FOR THE WORK SHOWN ON THE STRUCTURAL DRAWINGS PREPARED BY WSA. THIS REVIEW IS A PERIODIC REVIEW AT THE PROFESSIONAL JUDGEMENT OF WSA. THE PURPOSE IS TO ASCERTAIN THAT THE WORK IS IN GENERAL CONFORMANCE WITH THE PLANS AND SUPPORTING DOCUMENTS PREPARED BY WSA AND TO FULFILL THE REQUIREMENTS FOR THE COMPLETION OF LETTERS OF ASSURANCE REQUIRED BY THE APPLICABLE BUILDING CODE.
2. THE CONTRACTOR IS RESPONSIBLE TO UNDERTAKE THE WORK IN ACCORDANCE WITH THE DESIGN DRAWINGS, THE BCBC AND GOOD CONSTRUCTION PRACTICES. INSPECTIONS BY WSA WHETHER UNDERTAKEN OR NOT FOR ANY ITEM DO NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO COMPLETE THE WORK AS DIRECTED BY THE CONTRACT DOCUMENTS OR DRAWNGS, BEST PRACTICES AND THE BCBC. THE CONTRACTOR WILL SAVE HARMLESS AND INDEMNIFY WSA, ITS OWNERS OR EMPLOYEES FROM ANY DAMAGES RESULTING FROM POOR WORKMANSHIP, ERRORS OR OMISSIONS BY THE CONTRACTOR.
3. ALL NON-CONFORMING WORKS THAT REQUIRE REMEDIAL ACTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ANY EXTRA TIME OR COST INCURRED TO WSA. TO ASSIST OR ADVISE THE CONTRACTOR IN RECTIFYING THE WORK SHALL BE BORNE BY THE CONTRACTOR.
4. ENSURE THAT WORK TO BE INSPECTED IS COMPLETE AT THE TIME OF INSPECTION AND IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. ADDITIONAL INSPECTIONS REQUIRED DUE TO INCOMPLETE WORK OR POORLY EXECUTED WORK, AS JUDGED BY WSA AS WELL AS ADDITIONAL DESIGN OR REMEDIAL WORK CAUSED BY DEVIATIONS FROM THESE DRAWINGS, MAY BE CHARGED TO THE GENERAL CONTRACTOR AT THE DISCRETION OF WSA.
5. A MINIMUM OF 48 HOURS NOTICE SHALL BE GIVEN BY THE CONTRACTOR FOR ANY INSPECTION TO BE CARRIED OUT BY WSA. INSPECTIONS ARE REQUIRED PRIOR TO CONCEALING ANY STRUCTURAL WORK SHOWN ON THESE DRAWINGS.
6. **MINIMUM REQUIRED FIELD REVIEWS FOR THIS PROJECT :**

A. FOOTINGS:
INSPECT WHEN REBAR AND FORMS ARE INSTALLED

B. FOUNDATION WALLS:
INSPECT WHEN REBAR IS INSTALLED AND STILL VISIBLE PRIOR TO BEING FULLY COVERED BY FORMS

C. FRAMING:
INSPECT ALL STRUCTURAL ELEMENTS DETAILED IN THESE DRAWINGS PRIOR TO BEING COVERED WITH INSULATION, SIDING, OR OTHER ELEMENTS

CONCRETE:

1. PROVIDE CONCRETE AND PERFORM WORK TO CSA-A23.3.
2. MINIMUM 28 DAY COMPRESSIVE STRENGTHS AS INDICATED BELOW. ALL CONCRETE NORMAL WEIGHT - 150 PCF, TYPE 10 CEMENT, TYPE F FLYASH, MAXIMUM 3/4" AGGREGATE FOR ALL CONCRETE EXCEPT 1 1/4" MAXIMUM AGGREGATE FOR CHUTE PLACED SLABS ON GRADE. SUBMIT PROPOSED MIX DESIGN TO THE ENGINEER FOR APPROVAL:

INDUSTRIAL/COMMERCIAL

LOCATIONS	STRENGTH MPa (PSI)	AIR %	SLUMP +20mm	EXPOS. CLASS
FOOTINGS	25 (3600)	1-4	70	-
SUSPENDED SLABS & BEAMS	25 (3600)	4-7	70	F2
RETAINING WALL	25 (3600)	4-7	70	F2
INTERIOR S.O.G.	25 (3600)	1-4	60	-
EXPOSED S.O.G.	32 (4640)	4-8	60	C2
WALLS & COLUMNS	25 (3600) 30 (4350)	1-4 4-7	70 70	- F2

3. DO NOT USE ADMIXTURES OTHER THAN AIR ENTRAINMENT, STANDARD WATER REDUCERS OR SUPER PLASTICIZERS WITHOUT PRIOR APPROVAL OF THE ENGINEER.
4. REJECT ALL CONCRETE WHEN TIME BETWEEN BATCHING AND PLACING EXCEEDS 2 HOURS.
5. DO NOT ADD WATER TO THE CONCRETE ON SITE UNLESS AUTHORIZED BY THE ENGINEER.
6. CONSOLIDATE ALL CONCRETE USING MECHANICAL VIBRATORS.
7. CONTROL JOINTS FOR SLAB-ON-GRADE: SAWCUT TO A DEPTH OF 25% OF SLAB THICKNESS AS SOON AS POSSIBLE AND NO LATER THAN 20 HOURS AFTER POURING AT MAXIMUM 6.1m SPACING OR AT LOCATIONS SHOWN ON THE DRAWINGS.
8. CONSTRUCTION JOINTS: AS SHOWN ON THE DRAWINGS OR AS DIRECTED BY THE ENGINEER.
9. PROTECT CONCRETE FROM ADVERSE WEATHER CONDITIONS IN ACCORDANCE WITH CSA A23.1, A23.3
10. CONSTRUCT FORMWORK IN ACCORDANCE WITH WCB REGULATIONS AND CSA S269.3. FORMWORK DESIGN IS THE RESPONSIBILITY OF THE CONTRACTOR.

REINFORCING:

1. NEW DEFORMED BARS TO CSA G30.18 GRADE 400 (60 KSI). WELDED WIRE FABRIC TO CSA G30.5. ANCHOR BOLTS TO ASTM A307.
2. PLACE REINFORCING BARS TO CSA A23.1. TIE ALL BARS SECURELY IN PLACE TO PREVENT DISPLACEMENT. SUPPORT SLAB REINFORCING ON SUITABLE CHAIRS OR SUPPORTS AT MAXIMUM 4 FT. CENTRES. PROVIDE CORNER BARS TO MATCH HORIZONTAL WALL REBAR.
3. PROVIDE CLEAR CONCRETE COVER FOR REBAR AS FOLLOWS:

SURFACE POURED AGAINST GROUND	3"
FORMED SURFACE EXPOSED TO GROUND OR WEATHER	2"
BEAMS	2" TO MAIN STEEL
COLUMNS	2" TO MAIN STEEL
WALLS	1 1/2"
SLABS ON GRADE	1 1/2"

4. SPLICE REBAR AS FOLLOWS (UNLESS OTHERWISE NOTED):

BAR SIZE-	25M	20M	30M	15M	10M
LAP SPLICE-	51"	31"	71"	25"	18"

5. MINIMUM 2-15M REINFORCING AROUND OPENING LARGER THAN 12" AT EACH SIDE OF OPENING. EXTEND 2'-0" PAST CORNER.
6. CONTRACTOR TO PROVIDE 48 HOURS NOTICE FOR REBAR INSPECTION.
7. WHERE SUSPENDED SLAB DRAWINGS ONLY SHOW PRINCIPAL REINFORCING IN ONE DIRECTION, PROVIDE SHRINKAGE AND TEMPERATURE REINFORCING PERPENDICULAR TO PRINCIPAL REINFORCING AND LOCATE BETWEEN MAIN TOP AND BOTTOM REINFORCING, PER PLANS.
8. PROVIDE CORNER BARS FOR ALL HORIZONTAL WALL REINFORCING
9. PLACE REINFORCING BARS UNIFORMLY AND SYMMETRICALLY, U.N.O.
10. WHERE NEW CONCRETE POUR MEETS ABUTTING CONCRETE, DRILL AND GROUT ALL LONGITUDINAL REINFORCING 6: I.N.O.. DRILLING AND GROUTING OF REINFORCING SHALL BE WITH 'HILTI' HY-150 SYSTEM OR APPROVED EQUAL
11. NO WELDING OF ANY CONCRETE REINFORCING STEEL IS PERMITTED WITHOUT WRITTEN APPROVAL FROM THE STRUCTURAL ENGINEER.

WOOD CONSTRUCTION:

1. ROUGH CARPENTRY SHALL BE CONSTRUCTED IN ACCORDANCE TO THE HIGHEST INDUSTRY STANDARDS AND TO THE REQUIREMENTS OF PART9 AND PART 4 OF BCBC 2018.
2. SILL PLATES TO BE PRESSURE TREATED, LEVELLED AND FASTENED TO FOUNDATION WALL WITH 1/2"∅ ANCHOR BOLTS (UNLESS NOTED OTHERWISE (UNO)) EMBEDDED MIN. 4" @ 6'-0" o/c. MAX. (OR IF SHEAR WALL AS PER DETAIL) WITH MIN. 2 IN EACH SILL.
3. ALL TRUSSES TO ENGINEERED AND INSTALLED TO MANUFACTURERS SPECS. PROVIDE ALL GIRDERS, HANGERS, SUPPORTS, HARDWARE, BRACING, ETC. AS REQUIRED. MANUFACTURER TO BRING TO THE ATTENTION OF OWNER/CONTRACTOR ANY FURTHER BEARING REQUIRED FOR TRUSSES PROVIDED.
4. TRUSS/JOIST MANUFACTURER TO PROVIDE ALL PERTINENT DRAWINGS AND DESIGN INFORMATION INCLUDING MEMBER REACTIONS TO STRUCTURAL ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION.
5. ALL BEARING COLUMNS OF GIRDER TRUSSES TO AND SUPPORT BEAMS ARE TO BE POSTED TO FOUNDATION.
6. ALL LINTELS TO EXTERIOR OR BEARING WALLS TO BE (2) - 2x10 UNO.
7. BUILT-UP SAWN LUMBER BEAMS AND POSTS SHALL BE CONNECTED WITH 3.5" COMMON NAILS IN TWO ROWS AT 10" O/C IN EACH FACE.
8. HEADER JOISTS EMBEDDED IN CONCRETE TO BE TREATED.
9. FRAMING HANGERS, ANCHORS, AND CLIPS SHALL BE PRE-ENGINEERED GALVANIZED METAL FABRICATION TO SUIT THE LOADING AND SPAN OF THE FRAMING MEMBERS SUPPORTED. ALL SPECIFIED HARDWARE IS AS MANUFACTURED BY SIMPSON STRONGTIE. ALTERNATIVE MUST BE APPROVED BY ENGINEER.
10. PROVIDE JOIST HANGERS AT FLUSH FRAMED WOOD MEMBERS.
11. DOUBLE OR TRIPLE STUD UNDER LINTELS AND BEAMS, AS REQUIRED OR UNO.
12. WHEN BLOCKING OR BRIDGING IS REQUIRED BY BCBC 9.23.9.4 SPACING SHALL BE NO GREATER THAN 6'10" O/C (SEE 9.23.9.4 BCBC 2018).
13. PROVIDE SOLID BLOCKING BETWEEN JOISTS OVER BEARING WALLS AND BEAMS. TOE NAIL THE BLOCKING TO THE WALL PLATE WITH 3" COMMON NAILS AT 8" O/C STAGGER SIDE TO SIDE AS MIN OR AS NOTED FOR WALL PLATE NAILING IN THE WALL SCHEDULE. NAIL THE FLOOR OR ROOF SHEATHING TO THE BLOCKING. NAIL WALL PLATES ABOVE TO THE BLOCKING.
14. SOLID BLOCKING TO BE INSTALLED FOR ADEQUATE SUPPORT OF TOWEL BARS, CURTAIN AND CLOSET RODS, SHELVES, GRAB BARS AND SIMILAR FIXTURES WHERE REQUIRED.
15. MULTI-PLY LVL'S SHALL BE CONNECTED AND INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.
16. GLULAM BEAMS TO BE PRE-DRILLED TO ACCEPT BOLTS, SHEAR PLATES, ETC.
17. ALL BOLTS, NUTS, AND WASHERS IN CONTACT WITH GLULAM TO BE HOT DIPPED GALVANIZED. ALL EXPOSED BOLT HEADS TO BE RECESSED INTO GLULAM MEMBERS.
18. ORIENTATE FLOOR AND ROOF SHEATHING WITH FACE GRAIN PERPENDICULAR TO JOISTS. STAGGER PANEL JOINTS.
19. ROOF AND FLOOR SHEATHING TO BE FASTENDED WITH 2.5" COMMON NAILS AT 6" O/C PANEL EDGES AND BLOCKING. 12" O/C SPACING AT INTERMEDICATE SUPPORTS OR UNO.
20. FLOOR SHEATHING TO BE GLUED DOWN TO SUPPORT PRIOR TO FASTENING.
21. WALL SHEATHING TO BE FASTENED AS PER WALL SCHEDULE. NAILING SPACING TO BE REDUCED BY 1/3 WHERE AUTOMATIC NAILS ARE USED. DO NOT OVERDRIVE NAILS. PROVIDE DOUBLE STUDS AT PANELS JOINTS IN WALLS WHERE NAIL SPACING IS 2" OR LESS.
22. STAIR FRAMING IN ACCORDANCE WITH PART 9 BCBC 2018.
23. GRADE AND SPECIES OF FRAMING AS FOLLOWS: (UNO ON DRAWING)
    - SOLID SAWN BEAMS, POSTS, COLUMNS, HEADERS, LEDGERS, & JOISTS, TO BE No. 1 OR BETTER, DOUGLAS FIR/ LARCH
    - STUDS, BUILT-UP BEAMS, BUILT-UP POSTS, JOISTS, BUILT-UP HEADERS, & LEDGERS, TO BE No. 1/2 OR BETTER SPF
    - EXTERIOR WALL SHEATHING TO BE 1/2" O.S.B. OR 1/2" PLYWOOD
    - ROOF SHEATHING TO BE MIN. 1/2" DF PLYWOOD UNLESS OTHERWISE NOTED.
    - ALL SUBFLOORING TO BE MIN. 3/4" T&G PLYWOOD UNLESS OTHERWISE NOTED.

NON-STRUCTURAL COMPONENTS:

1. NON-STRUCTURAL COMPONENTS ARE NOT THE RESPONSIBILITY OF WSA ENGINEERING LTD. BUT ARE DESIGNED, DETAILED, SPECIFIED,AND REVIEWED IN THE FIELD BY OTHERS. LETTERS OF CERTIFICATION OF ADEQUACY, INSTALLATION, ETC, OF SUCH COMPONENTS ARE BY OTHERS.

2. MANUFACTURERS OF NON-STRUCTURAL COMPONENTS WHICH AFFECT THE STRUCTURAL FRAMING SHALL SUBMIT SHOP DRAWINGS TO THE ARCHITECT AND WSA ENGINEERING LTD. FOR REVIEW. THE SHOP DRAWINGS SHALL CLEARLY INDICATE THE LOAD IMPOSED ON THE STRUCTURE. REVIEW WILL BE LIMITED TO THE EFFECT OF THE COMPONENTS ON THE STUCTURAL FRAMING.

3. EXAMPLES OF NON-STRUCTURAL COMPONENTS INCLUDE BUT ARE NOT LIMITED TO:
   - ARCHITECTURAL COMPONENTS SUCH AS HANDRAILS, GUARDRAILS, RAILINGS, FLAG POST, REMOVABLE CANOPIES, CEILINGS, VEHICLE PROTECTION SYSTEMS, ORNAMENTAL COMPONENTS
   - ARCHITECTURAL PRECAST CONCRETE AND ITS ATTACHMENTS
   - ARCHITECTURAL GLASS BLOCKS AND THEIR ATTACHMENTS
   - BRICK AND BLOCK VANEERS, REIFORCING, AND TIES
   - LANDSCAPING COMPONENTS SUCH AS BENCHES, LIGHT POSTS, PLANTERS
   - CURTAIN WALL SYSTEMS, CLADDING, SKYLIGHT, WINDOW MULLIONS
   - INTERIOR AND EXTERIOR NON-LOADING STEEL STUD WALLS
   - SUPPORT AND BRACINGS OF MECHANICAL AND ELECTRICAL SYSTEMS AND EQUIPMENT FOR NON-GRAVITY AND SEISMIC LOADS
   - WINDOW WASHING EQUIPMENT AND ITS ATTACHMENTS
   - ELEVATORS, ESCALATORS, AND OTHER CONVEYING SYSTEMS, INCLUDING PROPRIETARY SUPPORT BEAMS AND ATTACHMENTS
   - NON-STRUCTURAL MASONARY

DESIGN LOADS (Castlegar) PER BCBC 2018

1. SPECIFIED DEAD LOADS:

ROOF	15 PSF	(0.72 kPa)
FLOOR	15 PSF	(0.72 kPa)

2. SPECIFIED LIVE LOADS:

FLOOR	40 PSF	(1.915 kPa)

3. CLIMATIC DATA:

GROUND SNOW (Ss)	87.74 PSF	(4.2 kPa)
ROOF SNOW (S)	50.34 PSF	(2.41 kPa)
RAIN (Sr)	2.09 PSF	(0.1 kPa)

WIND LOADS:

(1/10)	5.64 PSF	(0.27 kPa)
(1/50)	7.1 PSF	(0.34 kPa)

SEISMIC LOADS:
Sa(0.2) = 0.129
Sa(0.5) = 0.1
Sa(1.0) = 0.074
PGA = 0.058

DRAWING INDEX BP

FOR BUILDING PERMIT
NOT FOR CONSTRUCTION

WSA ENGINEERING (2012) LIMITED
Civil Structural
2248 Columbia Ave. Castlegar, B.C. V1N 2X1 Ph: (888) 617-6927

C21001 - 022
Habitat for Humanity
560 8th Street
Castlegar, BC

CITY OF CASTLEGAR ZONING - REQUIREMENTS

ZONE: R4

SETBACKS AND BUILDING HEIGHT

FRONT LOT LINE : 7.5M
EXTERIOR SIDE LOT LINE: 6.0M
INTERIOR SIDE LOT LINE: 4.88M**
REAR LOT LINE: 6.0M

**INTERIOR SIDE LOT LINE AS PER VARIANCE

MAXIMUM BUILDING HEIGHT: 12.0M

LOT COVERAGE AND DENSITY

MAXIMUM LOT COVERAGE: 55%
MAXIMUM FLOOR AREA RATIO (FAR): 1.65

OUTDOOR STORAGE AND LANDSCAPING:

3.5.6 (1) ALL MATERIAL AND EQUIPMENT OTHER THAN LICENSED MOTOR VEHICLES SHALL BE STORED WITHIN A BUILDING
3.5.6 (3) ALL DEVELOPED PORTIONS OF THE LOT NOT COVERED BY BUILDINGS,STRUCTURES, OR PAVED AREAS SHALL BE LANDSCAPED AND MAINTAINED
3.5.6 (4) WHERE A LOT LINE FORMS A COMMMON BOUNDARY WITH ANOTHER LOT, A BUFFER STRIP OR BARRIER SCREEN SHALL BE PROVIDED ALONG THE LOT LINE.

CITY OF CASTLEGAR ZONING - PROPOSED DEVELOPMENT

ZONE: R4

SETBACKS AND BUILDING HEIGHT

PROPOSED FRONT LOT LINE : 7.5M
PROPOSED EXTERIOR SIDE LOT LINE: 6.0M
PROPOSED INTERIOR SIDE LOT LINE: 4.88M WEST , 5.42M EAST
PROPOSED REAR LOT LINE: 6.0M

**INTERIOR SIDE LOT LINE AS PER VARIANCE

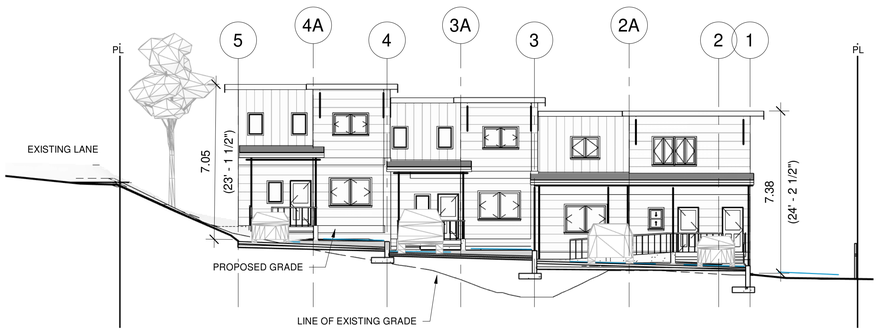
PROPOSED BUILDING HEIGHT: 6.9M

LOT COVERAGE AND DENSITY

PROPOSED LOT COVERAGE: 20% (310.3m2)
PROPOSED GFA: 664m2
PROPOSED FLOOR AREA RATIO (FAR): 0.43

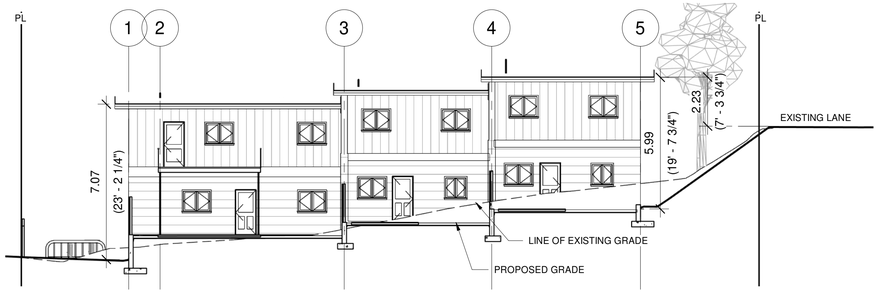
LEGAL LOT DESCRIPTION:

PARCEL A BLOCK 3
DSTLOT: 181 KOOTENAY DISTRICT
PLAN: NEP2524
LOT AREA: 0.1553 ha.



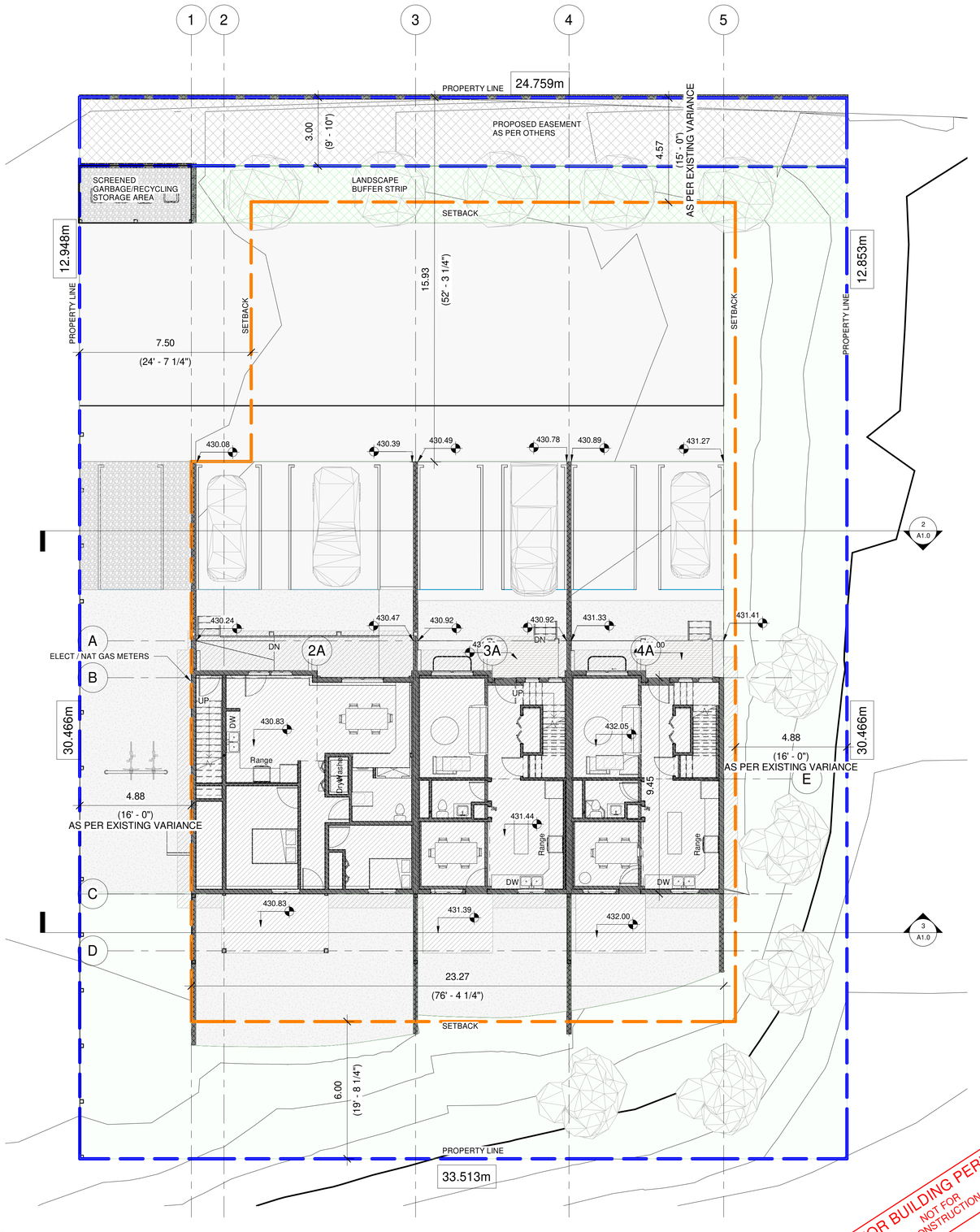
2 / A1.0 SECTION @ PARKING AREA

3/32" = 1'-0"



3 / A1.0 SECTION @ BACK YARD

3/32" = 1'-0"



1 / A1.0 Site

1 : 100

Dimensions to Face of Foundation or Framing Stud UNO.

DO NOT SCALE DRAWINGS
Written dimensions shall govern.

All dimensions to be verified on site by the contractor/builder. Report all errors or additions to the owner or designer prior to proceeding with the work

Habitat for Humanity® Southeast BC

No.	Date	Issue/Revision
C	FEB 22/22	FOR BUILDING PERMIT
1	FEB 09/22	DETAILS ADDED, FLOOR PLAN UPDATES, SCHEDULES UPDATED AS PER DESIGN REVIEW MEETING
B	FEB 02/22	FOR DEVELOPMENT PERMIT
1	JAN 24/22	DETAILS ADDED, UNIT C ADJUSTED
A	JAN 21/22	ISSUED FOR COORDINATION

Professional Engineer Stamp:

WSA ENGINEERING (2012) LTD.
Civil · Structural
2248 Columbia Ave, Castlegar, B.C. V1N 2X1 Ph: (888) 417-6927

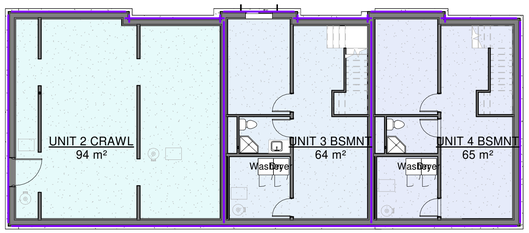
Project
Habitat for Humanity

560 8th Street
Castlegar, BC

Drawing
SITE PLAN

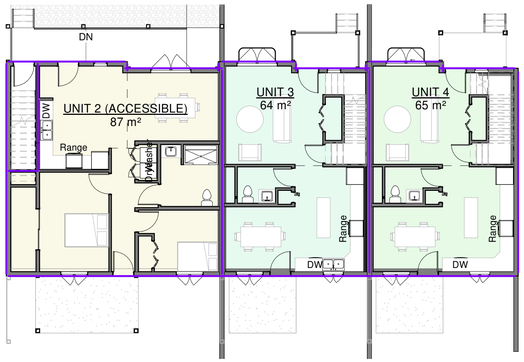
Date	11/13/21	Project No.	C21001 - 022
Designed	RS/ST	Drawing File	C21001 - 022 A1
Drawn	RS	Scale	As indicated
Checked	ST/DW	Sheet No.	A1.0
Approved	DS	Issue/Rev.	A

FOR BUILDING PERMIT
NOT FOR CONSTRUCTION



1 A1.01 BASEMENT AREA PLAN

3/32" = 1'-0"



2 A1.01 MAIN FLOOR AREA PLAN

3/32" = 1'-0"

3 A1.01 UPPER FLOOR AREA PLAN

3/32" = 1'-0"

Area Schedule (Gross Building)

Name	Unit	Area	Level
UNIT 2 CRAWL	UNIT A	94 m²	
UNIT 2 (ACCESSIBLE)	UNIT A	87 m²	1
UNIT A: 2		181 m²	
UNIT 3 BSMNT	UNIT B	64 m²	
UNIT 3	UNIT B	64 m²	1
UNIT 3 2ND FLOOR	UNIT B	64 m²	2
UNIT B: 3		193 m²	
UNIT 4 BSMNT	UNIT C	65 m²	
UNIT 4	UNIT C	65 m²	1
UNIT 4 2ND FLOOR	UNIT C	65 m²	2
UNIT C: 3		195 m²	
UNIT 1	UNIT D	94 m²	2
UNIT D: 1		94 m²	
Grand total: 9		664 m²	

DOOR SCHEDULE

Mark	Function	Count	Width	Height	Style
D06	Interior	3	2' - 8"	6' - 8"	INTERIOR PANEL
BASEMENT AREA PLAN: 3					
D13	Exterior	1	4' - 0"	4' - 0"	
T.O. UNIT 2 BASEMENT SLAB/CRAWL: 1					
D06	Interior	3	2' - 8"	6' - 8"	INTERIOR PANEL
T.O. UNIT 4 BASEMENT SLAB: 3					
BF1	Interior	1	4' - 0"	6' - 8"	4 - PANEL BIFOLD
D01	Exterior	1	3' - 0"	6' - 8"	EXTERIOR WOOD w/ GLASS PANEL
D02	Interior	3	3' - 0"	6' - 8"	INTERIOR PANEL
D04	Interior	1	6' - 0"	6' - 8"	INTERIOR SLIDING
D05	Exterior	2	3' - 0"	6' - 8"	ACCESIBLE EXTERIOR WOOD w/ GLASS PANEL
D12	Interior	1	5' - 0"	6' - 8"	
T.O. UNIT 2 MAIN FLOOR SUBFLOOR: 9					
BF1	Interior	1	4' - 0"	6' - 8"	4 - PANEL BIFOLD
BF2	Interior	1	1' - 6"	6' - 8"	2 - PANEL BIFOLD
D01	Exterior	2	3' - 0"	6' - 8"	EXTERIOR WOOD w/ GLASS PANEL
D06	Interior	2	2' - 8"	6' - 8"	INTERIOR PANEL
T.O. UNIT 3 MAIN FLOOR SUBFLOOR: 6					
BF1	Interior	1	4' - 0"	6' - 8"	4 - PANEL BIFOLD
BF2	Interior	1	1' - 6"	6' - 8"	2 - PANEL BIFOLD
D01	Exterior	2	3' - 0"	6' - 8"	EXTERIOR WOOD w/ GLASS PANEL
D06	Interior	2	2' - 8"	6' - 8"	INTERIOR PANEL
T.O. UNIT 4 MAIN FLOOR SUBFLOOR: 6					
BF1	Interior	4	4' - 0"	6' - 8"	4 - PANEL BIFOLD
D02	Interior	3	3' - 0"	6' - 8"	INTERIOR PANEL
D06	Interior	4	2' - 8"	6' - 8"	INTERIOR PANEL
T.O. UNIT 1 SUBFLOOR: 11					
BF1	Interior	3	4' - 0"	6' - 8"	4 - PANEL BIFOLD
D06	Interior	4	2' - 8"	6' - 8"	INTERIOR PANEL
D07	Interior	1	1' - 6"	6' - 8"	2 - PANEL BIFOLD
T.O. UNIT 3 2ND FLOOR SUBFLOOR: 8					
BF1	Interior	3	4' - 0"	6' - 8"	4 - PANEL BIFOLD
BF2	Interior	1	1' - 6"	6' - 8"	2 - PANEL BIFOLD
D06	Interior	4	2' - 8"	6' - 8"	INTERIOR PANEL
T.O. UNIT 4 2ND FLOOR SUBFLOOR: 8					
Grand total: 55					

WINDOW SCHEDULE

Mark	QTY.	Operation	Sill Height	Width	Height	Head Ht.	Comments
W08	1	Sliding Double	4' - 0"	4' - 0"	2' - 0"	6' - 0"	
BASEMENT AREA PLAN: 1							
W08	1	Sliding Double	4' - 0"	4' - 0"	2' - 0"	6' - 0"	
T.O. UNIT 4 BASEMENT SLAB: 1							
W02	1	Double Hung	3' - 6"	2' - 0"	3' - 0"	6' - 6"	
W07	2	Casement	3' - 6"	4' - 0"	3' - 0"	6' - 6"	
W10	1	Casement	3' - 0"	6' - 0"	4' - 0"	7' - 0"	
T.O. UNIT 2 MAIN FLOOR SUBFLOOR: 4							
W03	1	Fixed	3' - 6"	2' - 0"	3' - 0"	6' - 6"	
W04	1	Casement	3' - 6"	3' - 0"	3' - 0"	6' - 6"	
W07	1	Casement	3' - 6"	4' - 0"	3' - 0"	6' - 6"	
W10	1	Casement	3' - 0"	6' - 0"	4' - 0"	7' - 0"	
T.O. UNIT 3 MAIN FLOOR SUBFLOOR: 4							
W03	1	Fixed	3' - 6"	2' - 0"	3' - 0"	6' - 6"	
W04	1	Casement	3' - 6"	3' - 0"	3' - 0"	6' - 6"	
W07	1	Casement	3' - 6"	4' - 0"	3' - 0"	6' - 6"	
W10	1	Casement	3' - 0"	6' - 0"	4' - 0"	7' - 0"	
T.O. UNIT 4 MAIN FLOOR SUBFLOOR: 4							
W05	2	Casement	3' - 0"	3' - 0"	4' - 0"	7' - 0"	
W07	3	Casement	<varies>	4' - 0"	3' - 0"	<varies>	
T.O. UNIT 1 SUBFLOOR: 5							
W03	2	Fixed	3' - 6"	2' - 0"	3' - 0"	6' - 6"	
W07	2	Casement	3' - 6"	4' - 0"	3' - 0"	6' - 6"	
W09	1	Casement	3' - 6"	5' - 0"	3' - 0"	6' - 6"	
T.O. UNIT 3 2ND FLOOR SUBFLOOR: 5							
W03	2	Fixed	3' - 6"	2' - 0"	3' - 0"	6' - 6"	
W07	2	Casement	3' - 6"	4' - 0"	3' - 0"	6' - 6"	
W09	1	Casement	3' - 6"	5' - 0"	3' - 0"	6' - 6"	
T.O. UNIT 4 2ND FLOOR SUBFLOOR: 5							
Grand total: 29							

BEDROOM WINDOW MIN. UNOBSTRUCTED OPENING 3.75 SQ.FT WITH MINIMUM DIMENSION OF 15". WINDOW HARDWARE MUST NOT OBSTRUCT WINDOW OPENING

EXTERIOR FINISH SCHEDULE

TAG	TYPE	COLOR
1	HARDIPLANK LAP SIDING	BOOTHBAY BLUE
2	HARDIPLANK LAP SIDING	IRON GRAY
3	HARDIPLANK LAP SIDING	ARCTIC WHITE
4	HARDIPANEL VERTICAL SIDING	COBBLE STONE
5	HARDITRIM BOARDS	ARCTIC WHITE
6	TIMBER ACCENT	D.FIR WITH SEMI TRANSPARENT STAIN PER CLIENT
7	EXTERIOR COLUMN	SOLID TIMBER OR TIMBER CLADDING WITH SEMI TRANSPARENT STAIN PER CLIENT
8	ROOF SUPPORT BEAM	TIMBER CLADDING WITH SEMI TRANSPARENT STAIN PER CLIENT

CONSTRUCTION GENERAL NOTES:

HEATING

- INSTALLATION OF ENTIRE HEATING SYSTEM TO BE IN COMPLIANCE WITH MANUFACTURERS DIRECTIONS (WHERE APPLICABLE) AND MUST ALSO CONFORM WITH LOCALS CODES AND REGULATIONS IN ALL RESPECTS.

FIRE PROTECTION

- WITHIN DWELLING UNITS SUFFICIENT SMOKE ALARMS CONFORMING TO CAN/ULC-531 SHALL BE INSTALLED SO THAT
  a. THERE IS AT LEAST ONE SMOKE ALARM ON EACH STOREY, INCLUDING BASEMENTS
  b. ON ANY STOREY OF A DWELLING UNIT CONTAINING A SLEEPING ROOM, A SMOKE ALARM IS TO BE INSTALLED,
  (i) IN EACH SLEEPING ROOM, AND
  (ii) IN A LOCATION BETWEEN SLEEPING ROOMS AND THE REMAINDER OF THE STOREY, AND IF THE SLEEPING ROOMS ARE SERVED BY A HALLWAY, THE SMOKE ALARM SHALL BE LOCATED IN THE HALLWAY.
- SMOKE ALARMS SHALL HAVE VISUAL SIGNALLING COMPONENET CONFORMING TO THE REQUIREMENTS IN 18.5.3 OF NFPA 72. THE VISUAL SIGNALLING COMPONENET NEED NOT BE INTERGRATED WITH SMOKE ALARM PROVIDED IT IS INTERCONNECTED TO IT.
- INTERCONNECTED SMOKED ALARMS TO BE PERMANENTLY CONNECTED AND HAVE A BATTERY BACKUP AS PER BCBC (2018) 9.10.19.4
- GAS,PROPANE AND ELECTRIC COOKTOPS SHALL BE INSTALLED IN ACCORDANCE TO MANUFACTUERS INSTURUCTIONS AS WELL AS HAVE CLEARANCES AS IN ACCORDANCE WITH BCBC (2018) 9.10.22.

STAIRS, HANDRAILS AND GAURDS

- ALL INTERIOR AND EXTERIOR STAIRS, RAMPS, HANDRAILS AND GUARDS SHALL CONFORM TO BCBC (2012) SECTION 9.8
  a. MAXIMUM RISE 200mm
  b. MAXIMUM RUN 355mm
- RAMPS TO BE BUILT IN ACCORDANCE WITH 9.8.4
  a. MAXIMUM SLOPE OF 1 IN 10 FOR RAMPS (INTERIOR AND EXTERIOR)
- ALL HANDRAIL TO BE BUILT IN ACCORDANCE WITH BCBC (2018) 9.8.7
  a. HEIGHT TO BE NO LESS THAN 865mm AND NO MORE AND 965mm OR AS PER BCBC (2018)

INSULATION AND VENTILATION

- MINIMUM INSULATION REQUIREMENTS:
  ROOF (ATTIC) R-48 (R.S.I - 8.45)
  ROOF/CEILING (SLOPING) R-28 (R.S.I - 4.93)
  WALLS R-24 (R.S.I - 3.87)
  ISULATION REQUIREMENTS 4500 DEGREE DAYS OR GREATER
  R-60 (R.S.I - 10.56)
  R-24 (R.S.I - 4.23)
- **NOTE: BUILDING TO BE DESIGNED TO MINIMUM STEP 3 OF BCBC STEP CODE**
- 6 MIL UNLTRAVIOLET RESISTANT POLY AIR BARRIER SHALL BE INSTALLED ON THE WARM SIDE OF THE INSULATION.
- ALL ROOF SPACES SHALL BE VENTILATED WITH SOFFIT, ROOF, OR GABLE VENTS, OR A COMBINATION OF THESE EQUALLY DISTRIBUTED BETWEEN TOP OF ATTIC SPACE AND OVERHANG SOFFIT.
- PROVIDE BAFFLE FOR AIR SPACE (EQUAL TO SOFFIT VENTING) BETWEEN INSULATION AND ROOF SHEATING AT EXTERIOR WALL LINE.
- ATTICS OR ROOF SPACES TO BE VENTED MINIMUM 1/300 OF AREA. UNHEATED CRAWLSPACES TO BE VENTED MINIMUM 1/500 OF AREA WITH CLOSEABLE VENTS
- HOT WATER PIPING AND INSULATION TO BE DESIGNED AND INSTALLED AS PER MANUFACTURERS SPECIFICATIONS AND IN ACCORDANCE WITH BCBC (2018) 2.3.1.

ELECTRICAL

- INSTALLATION OF ELECTRICAL ITEMS MUST COMPLY WITH THE BC ELECTRICAL CODE AND REGULATIONS AND WITH THE LOCAL ELECTRIC POWER SUPPLIERS REGULATIONS IN ALL RESPECTS
- ELECTRICAL OUTLET LOCATIONS SHOWN ON PLANS COMPLY WITH OR EXCEED CURRENT BUILDING CODE MINIMUM REQUIREMENTS AND ARE TO BE USED AS A GUIDE ONLY. ADJUST ACCORDING TO OWNERS REQUIREMENTS.

FINISHING

- OWNER SHALL SPECIFY ALL INTERIOR AND EXTERIOR FINISHING. OWNER SHALL CONFIRM ANY FINISHING SHOWN ON PLANS.
- EXTERIOR DOORS SHALL BE SOLID CORE/INSULATED AND WEATHER STRIPPED. GARAGE DOORS TO DWELLING TO BE AS ABOVE AND SELF-CLOSING. FLASH AT ALL HORIZONTAL CHANGES IN EXTERIOR FINISHING AND CAULK AROUND ALL EXTERIOR OPENING. FLASH OVER ALL UNPROTECTED OPENINGS.
- WINDOW AND DOOR SIZES ARE SHOWN IN FEET AND INCHES.
- OPENINGS IN PARTITIONS SHOWN WITHOUT DOORS ARE FULL HEIGHT UNLESS NOTED OR SHOWN OTHERWISE. ARCHES ARE FRAMED 7'-0" HIGH UNLESS NOTED OR SHOW OTHERWISE.
- CLOSETS SHALL HAVE ONE ROD AND SHELF. LINEN CLOSETS SHALL HAVE UP TO 5 ADJUSTABLE SHELVES WHERE POSSIBLE. BROOM CLOSETS SHALL HAVE ONLY ONE SHELF.
- BATHROOMS TO HAVE AT LEAST ONE WALL MEDICINE CABINET OR ONE LOCKABLE DRAWER.
- WATERPOOF FINISH TO BE PROVIDED IN BATHROOMS TO A HEIGHT OF NO LESS THAN,
  a. 1.8m (5'11") ABOVE THE FLOOR IN SHOWER STALLS,
  b. 1.2m (3'11") ABOVE THE RIMS OF BATHTUBS EQUIPPED WITH SHOWERS,
  c. 0.4m (15-3/4") ABOVE THE RIM OF BATHTUBS NOT EQUIPPED WITH SHOWERS.
- CERAMIC AND PLASTIC TILE INSTALLED ON WALLS AROUND BATHTUBS OR SHOWERS SHALL BE APPLIED OVER MOISTURE RESISTANT BACKING
- FINISHED FLOORING IN BATHROOMS,KITCHENS,PUBLIC ENTRANCE HALLS, LAUNDRY, AND GENERAL STORAGE AREAS SHALL CONSIST OF RESILIENT FLOORING, FELTED SYTHETIC-FIBRE FLOOR COVERINGS, CONCRETE, TERRAZZO, CERAMIC TILE, MASTIC OR OTHER TYPES OF FLOOR PROVIDING SIMILAR DEGREE OF WATER RESISTANCE.

FOR BUILDING PERMIT
NOT FOR CONSTRUCTION

Dimensions to Face of Foundation or Framing Stud UNO.

DO NOT SCALE DRAWINGS
Written dimensions shall govern.

All dimensions to be verified on site by the contractor/builder. Report all errors or additions to the owner or designer prior to proceeding with the work

Habitat for Humanity® Southeast BC

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Professional Engineer Stamp:

WSA ENGINEERING (2012) LTD.
Civil ' Structural
2240 Columbia Ave, Castlegar, B.C. V1N 2X1 Ph: (888) 617-6927

Project
Habitat for Humanity

560 8th Street
Castlegar, BC

Drawing
NOTES AND SCHEDULES

Date 11/13/21	Project No. C21001 - 022
Designed RS/ST	Drawing File C21001 - 022 A1
Drawn RS	Scale As indicated
Checked ST/DW	Sheet No. A1.01 / Issue/Rev. A
Approved DS	

ABBREVIATIONS

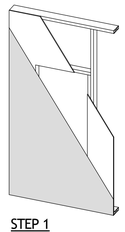
AC.	ACOUSTIC
ADJ.	ADJUSTABLE
ALT.	ALTERNATE
ALUM.	ALUMINUM
ANOD.	ANODIZED
APPROX.	APPROXIMATE
AVM	AIR/VAPOUR/MOISTURE
BD.	BOARD
BLDG.	BUILDING
BLK.	BLOCK
BLKG.	BLOCKING
BM.	BEAM
BOT.	BOTTOM
CB	CATCH BASIN
CG	CORNER GUARD
CIP	CAST IN PLACE
CJ	CONTROL JOINT
CL	CENTER LINE
CLG.	CEILING
CMU	CONCRETE MASONRY UNIT
COL.	COLUMN
COMP.	COMPACTED
CONC.	CONCRETE
CONT.	CONTINUOUS
CORR.	CORRIDOR
COV.	COVER
C/W	COMPLETE WITH
CS/CI	CONTRACTOR SUPPLY-CONTRACTOR INSTALL
DEG.	DEGREE
DF	DRINKING FOUNTAIN
DIA.	DIAMETER
DIAG.	DIAGONAL
DN.	DOWN
DRY.	DRYER (CLOTHES)
DS	DOWNSPOUT
DWG(S).	DRAWINGS
EA.	EACH
EA.F	EACH FACE
ELEC.	ELECTRICAL
ELEV.	ELEVATION
EQ.	EQUAL
ES	EXPOSED STRUCTURE
EXIST.	EXISTING
EXP.	EXPOSED
EXP.JT.	EXPANSION JOINT
EXPN.	EXPANSION
EXTR.	EXTERIOR
EXT.GR.	EXTERIOR GRADE
FOC	FACE OF CURB
F	FILM
FD	FLOOR DRAIN
FDN.	FOUNDATION
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FHC	FIRE HOSE CABINET
FIN.GD.	FINISHED GRADE
FLR.	FLOOR
FP	FIRE PLACE
FRP	FIBER REINFORCED PLASTIC
FRS	FIRE SHUTTER
FTG.	FOOTING
FURR.	FURRING
F/O	FACE OF

GA.	GAUGE
GB	GRAB BAR
GL.	GLASS
GLULAM	GLUE-LAMINATED
GR.	GRADE
GWB	GYPSUM WALL BOARD
GWB.WR.	GYPSUM WALL BOARD - WATER RESISTANT
HCW	HOLLOW CORE WOOD
HDR.	HEADER
HD.WD.	HARD WOOD
HHS	HAND HYGIENE SINK
HM	HOLLOW METAL
HORZ.	HORIZONTAL
HSS	HOLLOW STRUCTURAL SECTION
HTR.	HEATER
HWT	HOT WATER TANK
ID	INSIDE DIAMETER
IF	INSIDE FACE
INSUL.	INSULATION
INT.	INTERIOR
JT.	JOINT
LAV.	LAVATORY
LG.	LONG
M.STD.	METAL STUD
m	METER
MATL.	MATERIAL
MAX.	MAXIMUM
MDF	MEDIUM DENSITY FIBREBOARD
MECH.	MECHANICAL
MEZZ.	MEZZANINE
MH	MANHOLE
MIN.	MINIMUM
MISC.	MISCELLANEOUS
mm	MILLIMETERS
MO	MASONRY OPENING
MR	MOISTURE RESISTANT
MS	MOP SINK
NIC	NOT IN CONTRACT
NO.	(#)NUMBER
NTS	NOT TO SCALE
O/C	ON CENTER
O.D.	OUTSIDE DIAMETER
O.S.F.	OUTSIDE FACE
OPP.	OPPOSITE
OSB	ORIENTED STRAND BOARD
OS/OI	OWNER SUPPLY-OWNER INSTALL
OS/CI	OWNER SUPPLY-CONTRACOR INSTALL
OS/VI	OWNER SUPPLY-VENDOR INSTALL
OWSJ	OPEN WEB STELL JOIST
PAT.	PATIENT
PERIM.	PERIMETER
PG	PLATE GLASS
PJ	PARALAM JOIST
PLY.	PLYWOOD
P.LAM	PLASTIC LAMINATE
POLY.	POLYETHYLENE
PP	POWER POLE
PR.	PAIR
PSC	PARALAM STEEL CONNECTION
PSF	PRESSED STEEL FRAME
PT	PRESSURE TREATED
PTD	PAPER TOWEL DISPENSER
PROJ.	PROJECTION
PVC	POLYVINYL CHLORIDE
PVCW	POLYVINYL CHLORIDE WALLCOVERING

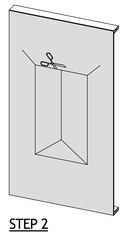
RAD.	RADIUS
RB	ROLLER BLINDS
RCP	REFLECTED CEILING PLAN
RD	ROOF DRAIN
REINF.	REINFORCED
REQ'D.	REQUIRED
REV.	REVISION
RTU	ROOF TOP UNIT
RM.	ROOM
RO	ROUGH OPENING
RWDP	RAIN WATER DOWN PIPE
RWL	RAIN WATER LEADER
SAP	SUSPENDED ACOUSTIC PANEL
SCW	SOLID CORE WOOD
SD	SOAP DISPENSER
SAN.D	SANITARY DISPOSAL
SEC.G.	SECURITY GRILLE
SECT.	SECTION
SG	SEMI-GLOSS
SHTG.	SHEATHING
SIM.	SIMILAR
SNW.G.	SNOW GUARD
SOG	SLAB ON GRADE
STC	SOUND TRANSMISSION CLASS
SPEC.	SPECIFICATION
SQ.	SQUARE
SS	STAINLESS STEEL
STD.	STANDARD
STRUCT.	STRUCTURAL
SUSP.	SUSPENDED
SYM.	SYMMETRICAL
T&G	TONGUE AND GROOVE
TBD	TO BE DETERMINED
TEMP.	TEMPERATURE
T/O	TOP OF
TP	TOILET/WASHROOM PARTITIONS
TPD	TOILET PAPER DISPENSER
TRANS.	TRANSFORMER
TS	TRACK SYSTEM
TV	TELEVISION
TYP.	TYPICAL
U/C	UNDER COUNTER
U.N.O.	UNLESS NOTED OTHERWISE
U/S	UNDERSIDE
VB	VAPOUR BARRIER
VERT.	VERTICAL
VEST.	VESTIBULE
VC	VERNACARE
VJ	V JOINT
VOL.	VOLUME
W/	WITH
WC	WATER CLOSET
WD.	WOOD
WF	WALL FOUNTAIN
WWM	WELDED WIRE MESH

SYMBOL LEDGEND

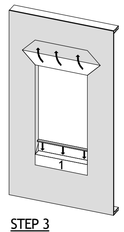
1 / A101	BUILDING SECTION
1 / A101	DETAIL
0	GRID HEAD
Room name / 101 / 150 m2	ROOM TAG
?	KEYNOTE TAG
1t	DOOR TAG
1t	WALL TAG
1t	WINDOW TAG
1t	FLOOR TAG



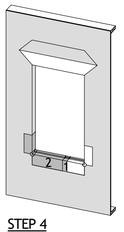
STEP 1
- WOOD FRAME WALL WITH OSB AND HOUSEWRAP



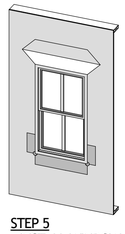
STEP 2
-MODIFY "I" CUT IN HOUSE WRAP



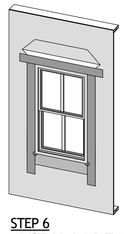
STEP 3
-INSTALL FIRST PIECE OF ADHESIVE-BACKED FLASHING
- HOUSEWRAP FOLDED IN; ALTERNATELY, TUCK HEAD FLAP UNDER
- INSTALL WOOD BACKDAM



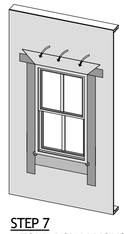
STEP 4
- INSTALL SECOND PIECE OF ADHESIVE-BACKED FLASHING
- INSTALL CORNER FLASHING PATCHES AT SILL



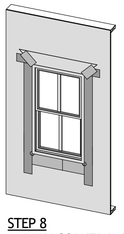
STEP 5
- INSTALL WINDOW PLUMB, LEVEL AND SQUARE PER MANUFACTURER'S INSTRUCTIONS



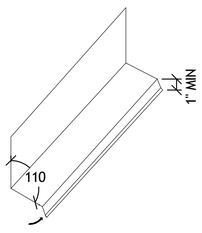
STEP 6
- INSTALL JAMB FLASHING FIRST THEN HEAD FLASHING



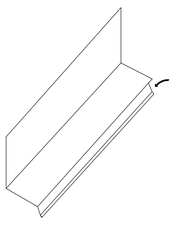
STEP 7
- FOLD DOWN HOUSEWRAP AT HEAD



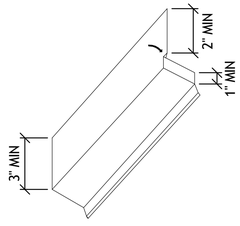
STEP 8
- APPLY CORNER PATCHES AT HEAD



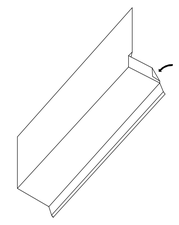
STEP 1
- FOLDED METAL FLASHING (MIN. 6% SLOPE)
- FOLD FRONT FACE OF FLASHING TO CREATE SAFETY EDGE



STEP 2
- NOTCH OUT FRONT FACE ONLY



STEP 3
- FOLD UP EDGE
- DO NOT CRIMP BACK FOLD TIGHT SO POSITIVE SLOPE IS MAINTAINED



STEP 4
- FOLD OVER OUTER CORNER TO CREATE SAFETY EDGE
- END DAM MUST EXTEND TO FACE OF CLADDING

Window Installation
6" = 1'-0"

FOR BUILDING PERMIT
NOT FOR CONSTRUCTION

Dimensions to Face of Foundation or Framing Stud UNO.

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Habitat for Humanity® Southeast BC

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Civil ' Structural
2248 Columbia Ave, Castlegar, B.C. V1N 2X1 Ph: (888) 417-4927

Project
Habitat for Humanity

560 8th Street
Castlegar, BC

Drawing
ADDITIONAL NOTES

Date	11/13/21	Project No.	C21001 - 022
Designed	RS/ST	Drawing File	C21001 - 022 A1
Drawn	RS	Scale	As indicated
Checked	ST/DW	Sheet No.	A1.02
Approved	DS	Issue/Rev.	A

2018 BC BUILDING CODE REVIEW

PROJECT SUMMARY

Building Area	Building Footprint	Building Height	Building Classification	Sprinkelering
Total: 664m² (7147.24m²)	Total: 23.27m x 9.75m (76'-4" x 32'-0")	Total: 6.9m (22' - 7 1/2")	Type: GROUP C - RESIDENTIAL	Applicable: N/A

CODE REFERENCE	CODE SENTENCE	APPLICABLE
1.3.3.3. Application of Part 9	1) Part 9 of Division B applies to all buildings describe in Article 1.1.1.1. of 3 storeys or less in building height, having a building area not exceeding 600 sq.m and used for major occupancies classified as a) Group C, residential occupancies (see Note A-9.1.1.1.(1) or Division B). b) Group D, business and personal services occupancies, c) Group E, mercantile occupancies d) Group F, Division 2 and 3, medium and low-hazard industrial occupancies.	
1.3.3.4. Building Size Determination	1) Where a firewall divides a building, each portion of the building so divided shall be considered as separate building except when this requirement is specifically modified in other parts of this Code. (See Nota A - 1.3.3.4(1)) 2)Except as permitted in Sentence (3), where portions of a building are completely separated by a vertical fire separation that has a fire-resistance of not less than 1h and extends through all storeys and service spaces of the separated portions, each separated portion is permitted to be considered as a separate building for the purpose of determining building height, provided a) each separated portion is not more than 4 storeys in building height and is used only for assembly, residential, and business and personal service occupancies. b) the unobstructed path of travel for a firefighter from the nearest street to one entrance of each separated portion is not more than 45 min. (see Note A-1.3.3.4.(2).) 3) The vertical fire separation referred to in Sentence (2) may terminate at the floor assembly immediately above a basement provided the basement conforms to Article 3.2.1.2. of Division B	
9.7.2.1 Entrance Doors	1) A door shall be provided at each entrance to a dwelling unit 2) Main entrance doors to dwelling shall be provided with a) a door viewer or transparent glazing in the door, or b)a sidelight	
9.8. Stairs, Ramps, Handrails and Guards		
9.8.1.3. Exit Stairs, Ramps and Landings	1) Where a stair, ramp or landing forms part of an exit, the appropriate requirements in Section 9.9. and 9.10. shall also apply.	
9.8.2.1. Stair Width	1) Except as provided in Sentence (2), required exit stairs and public stairs serving buildings of residential occupancy shall have a width of not less than 900mm. 2) Exits stairs serving a single dwelling units shall have a width of not less than 860mm. 3)Required exit stairs and public stairs serving buildings of other than residential occupancy shall have width less than the greater of a) 900mm, or b) 8mm per person based on occupant load limits specified in Table 3.1.17.1. 4) At least one stair between each floor within a dwelling unit, and exterior stairs serving a single dwelling unit except required exit stairs, shall have a width of not less than 860mm.	
9.8.2.2. Height over Stairs	1) clear height over stairs shall not be less than 2050mm. 2) The clear height over stairs serving a single dwelling unit shall not be less than 1950mm	
9.8.3.2. Minimum Number of Risers	1) Except for stairs within a dwelling unit, at least 3 risers shall be provided in interior flights.	
9.8.3.3. Maximum Height of Stairs	1) Vertical height of any flight of stairs shall not exceed 3.7m.	
9.8.4.1. Dimensions for Risers	Stair Type: Private — Max.: 200 mm — Min.: 125 mm	
9.8.4.2. Dimensions for Treads	Stair Type: Private — Max.: 355 mm — Min.: 255 mm	
9.8.4.8. Tread Nosing	1) Except as permitted by Sentence (2), the top of the nosings of stair treads shall have a rounded or beveled edge extending not less than 6 mm and not more than 14 mm measured horizontally from the front of the nosing. 2) if resilient material is used to cover the nosing of a stair tread, the minimum extension of the rounded or beveled edge required by Sentence (1) is permitted to be reduced to 3mm.	
9.8.5.2. Ramp Width	1) Ramps shall be not less than 1100mm wide. 2) Ramps serving a single dwelling unit shall be not less than 860 mm wide.	
9.8.5.3. Height over Ramps	1) The clear height over ramps shall be not less than 2050mm.	
9.8.5.4. Ramps Slope	1) The slope of ramps shall be not more than a) 1 in 10 for exterior ramps b) 1 in 10 for ramps serving residential occupancies c) 1 in 6 for industrial occupancies d) 1 in 8 for all other occupancies	
9.8.5.5. Maximum Rise	1) Where the slope of the ramp is greater than 1 in 12, the maximum rise between floors or landings shall be 1500 mm.	

CODE REFERENCE	CODE SENTENCE	APPLICABLE
9.8.6.2. Required Landings	1) except as provided in Sentences (2) to (4) and Sentence 9.9.6.6.(2), a landing shall be provided a) at the top and bottom of each flight of interior and exterior stairs, including stairs in garages, b) at the top and bottom of a ramp with a slope greater than 1 in 50, c) where a doorway opens onto a stair or ramp d) where a ramp opens onto a stair, and e) where a stair opens onto a ramp. 2) Where a door at the top of a stair within a dwelling unit swings away from the stair, no landing is required between the doorway and the stair. 3) A landing may be omitted at top of an exterior flight serving a secondary entrance to a single dwelling unit, provided a) the stair does not contain more than 3 risers, b) the principal door is a sliding door or swings away from the stair, and c) only a storm or screen door, if any, swings over the stair and is equipped with hardware to hold it open. 4) A landing may be omitted at the bottom of an exterior stair or ramp provided there is no obstruction, such as a gate or door, within the lesser of the width of the stair or ramp or a) 900 mm for stairs or ramps serving a single dwelling unit, and b) 1100 mm for stairs or ramps not serving a single dwelling unit.	
9.8.6.3. Dimensions of Landings	1) Except as provided in Sentences (2) to (7), landing shall be at least as wide and long as the width of the stair or ramp in which they occur.	
9.8.6.4. Height over Landings	1) Except as permitted by Sentence (2), the clear height over landings shall be not less than 2050mm. 2) The clear height over landings serving a single dwelling unit be not less than 1950mm.	
9.9.1.3. Occupant Load	2) The occupant load for dwelling units shall be based on 2 persons per bedroom or sleeping area.	
9.9.10.1. Egress Windows or Doors for Bedrooms	1) Except where the suite is sprinklered, each bedroom or combination bedroom shall have at least one outside window or exterior door operable from the inside without the use of keys, tools or special knowledge and without the removal of sashes or hardware. 2) The window referred to in Sentence (1) shall a) provide an unobstructed opening of not less than 0.35 sq.m in area with no dimension less than 380mm b) maintain the required opening during an emergency without the need of additional support.	
9.10. Fire Protection		
9.10.8.10. Application to Houses	1) Table 9.10.8.1. does not apply to a) a dwelling unit that has no other dwelling unit above or below it, c) a dwelling unit that is not above or below another major occupancy	
9.10.13.1. Closures	Required Fire Resistance Rating of Fire Separation: 30 or 45 min; 1 hr; 1.5 hr — Minimum Fire-Protection Rating of Closure: 20 min; 45 min; 1 hr	
9.10.13.2. Solid Core Wood Door as Closure	1) A 45mm thick solid core wood door is permitted to be used where a minimum fire-protection rating of 20 min is permitted or between a public corridor and a suite provided door conforms CAN/ULC Ratings 2) Doors described in Sentence (1) shall have not more than 6mm clearance beneath and not more than 3mm at the sides and top.	
Table 9.10.15.4. Glazed Openings in Exposing Building Face (For Houses)	**SEE SHEET A1.4 FOR SPATIAL SEPARATION CALCULATIONS**	
Table 9.10.18.2. Maximum Occupant Load for Buildings without Fire Alarm Systems	Major Occupancy Classification: Residential — Occupant Load Above which a Fire Alarm System is Required: 10 sleeping accommodations — Fire Alarm System Not Required	

PART 9 CODE REVIEW

1 : 50

Dimensions to Face of Foundation or Framing Stud UNO.

DO NOT SCALE DRAWINGS
Written dimensions shall govern.

All dimensions to be verified on site by the contractor/builder. Report all errors or additions to the owner or designer prior to proceeding with the work

Habitat for Humanity® Southeast BC

C	FEB 22/22	FOR BUILDING PERMIT
1	FEB 09/22	DETAILS ADDED, FLOOR PLAN UPDATES, SCHEDULES UPDATED AS PER DESIGN REVIEW MEETING
B	FEB 02/22	FOR DEVELOPMENT PERMIT
1	JAN 24/22	DETAILS ADDED, UNIT C ADJUSTED
A	JAN 21/22	ISSUED FOR COORDINATION
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Professional Engineer Stamp:

WSA ENGINEERING (2012) LTD.
Civil • Structural
2240 Columbia Ave. Castlegar, B.C. V1N 2X1 Ph: (888) 617-6927

Project
Habitat for Humanity

560 8th Street
Castlegar, BC

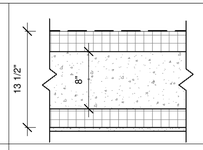
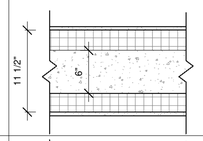
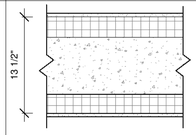
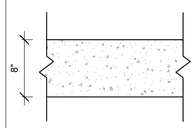
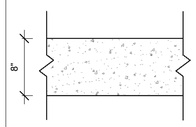
Drawing
CODE REVIEW AND OCCUPANCY

FOR BUILDING PERMIT
NOT FOR CONSTRUCTION

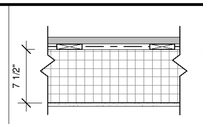
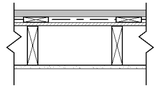
Date: 11/13/21	Project No.: C21001 - 022
Designed: RS/ST	Drawing File: C21001 - 022 A1
Drawn: RS	Scale: 1 : 50
Checked: ST/DW	Sheet No.: A1.2 — Issue/Rev.: A
Approved: DS	

CONSTRUCTION ASSEMBLIES

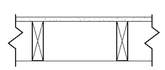
BELOW GRADE LOAD-BEARING/RETAINING WALL ASSEMBLIES

FW1		**FW1 - 8" NUDURA ICF FOUNDATION** LIQUID APPLIED DAMPPROOFING MEMBRANE AS PER MANUFACTURE DIMPLEBOARD 2 5/8" INSULATION 8" CAST-IN-PLACE CONC. 2 5/8" INSULATION 12.5mm (1/2") GYPSUM BOARD (REFER TO STRUCT.)	**RSI / R-VALUE:** 23.6 **FRR:** 4 hr **STC:** N/A
FW2		**FW2 - 6" NUDURA ICF PARTY WALL** 12.5mm (1/2") GYPSUM BOARD TYPE X 2 5/8" INSULATION 6" CAST-IN-PLACE CONC. 2 5/8" INSULATION 12.5mm (1/2") GYPSUM BOARD TYPE X (REFER TO STRUCT.)	**RSI / R-VALUE:** 23.6 **FRR:** 4 hr **STC:** 52
		**FW3 - 8" NUDURA ICF PARTY WALL** 12.5mm (1/2") GYPSUM BOARD TYPE X 2 5/8" INSULATION 8" CAST-IN-PLACE CONC. 2 5/8" INSULATION 12.5mm (1/2") GYPSUM BOARD TYPE X (REFER TO STRUCT.)	**RSI / R-VALUE:** 23.6 **FRR:** 4 hr **STC:** N/A
RW1		**RW1 - CAST-IN-PLACE FOUNDATION** 200mm (8") CAST-IN-PLACE CONC. (REFER TO STRUCT.) LOCATION: GARBAGE ENCLOSURE EASEMENT (AS PER OTHERS)	**RSI / R-VALUE:** N/A **FRR:** N/A **STC:** N/A
RW2		**RW2 - CAST-IN-PLACE FOUNDATION** 200 (8") mm CAST-IN-PLACE CONC. (REFER TO STRUCT.) WALL FACED WITH ROCK OR STAMPED CONCRETE LOCATION: BETWEEN FRONT PARKING AREAS BETWEEN REAR YARDS SOUTHEAST AND SOUTHWEST BUILDING CORNERS	**RSI / R-VALUE:** N/A **FRR:** N/A **STC:** N/A

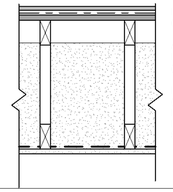
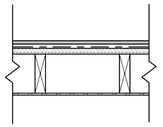
EXTERIOR - ABOVE GRADE WALL ASSEMBLIES

EW1		**EW1 - 7-1/2" GREENSTONE PANEL EXTERIOR WALL** EXTERIOR CLADDING (REFER TO BUILDING ELEV.) 19 x 89 RAIN SCREEN @ 450 mm O.C. **AIR & MOISTURE, VAPOUR PERMEABLE MEMBRANE** 7 1/2" (190.5mm) GREENSTONE STRUCTURAL INSULATED PANEL AIR & MOISTURE, VAPOUR PERMEABLE MEMBRANE 1/2" GYPSUM WALL BOARD	**RSI / R-VALUE:** R34.5 **FRR:** 45 min **STC:** 35
EW1*		**EW1* - 2 X 6 EXTERIOR WALL** EXTERIOR CLADDING (REFER TO BUILDING ELEV.) 19 x 89 RAIN SCREEN @ 450 mm O.C. AIR & MOISTURE, VAPOUR PERMEABLE MEMBRANE 1/2" PLYWOOD SHEATHING 38 x 140 (2x6) WOOD STUDS (REFER TO STRUCT. FOR SPACING) AIR & MOISTURE, VAPOUR PERMEABLE MEMBRANE 1/2" GYPSUM WALL BOARD	**RSI / R-VALUE:** R24 **FRR:** 45 min **STC:** N/A

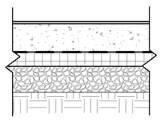
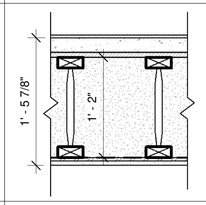
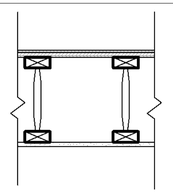
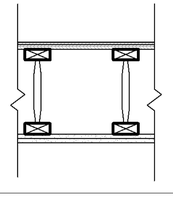
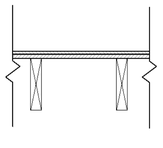
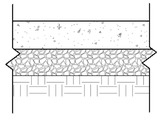
INTERIOR WALLS ASSEMBLIES

W01		**W01 - 2 X 6 WALL, 45 min** 12.5 mm (1/2") TYPE 'X' GYPSUM BOARD 38 x 140 (2x6) WOOD STUDS (REFER TO STRUCT.) 12.5 mm (1/2") TYPE 'X' GYPSUM BOARD	**RSI / R-VALUE:** N/A **FRR:** 45 min **STC:** 32
W01R		**W01F - 2 X 6 RATED WALL** 15.9 mm (5/8") TYPE 'X' GYPSUM BOARD 38 x 140 (2x6) WOOD STUDS (REFER TO STRUCT.) 15.9 mm (5/8") TYPE 'X' GYPSUM BOARD *PROVIDE SAFE AND SOUND INSULATION AT UNIT A/B STAIRWELL WALL	**RSI / R-VALUE:** N/A **FRR:** 1 hr **STC:** 32
W02		**W02 - 2 x 4 PARTITION** 12.7 mm (1/2") GYPSUM BOARD 38 x 89 (2x4) WOOD STUDS @ 600 mm o.c. 12.7 mm (1/2") GYPSUM BOARD	**RSI / R-VALUE:** N/A **FRR:** - **STC:** -
W03		**W03 - 2 x 6 PLUMBING PARTITION** 12.7 mm (1/2") GYPSUM BOARD 38 x 140 (2x6) WOOD STUDS @ 600 mm o.c. 12.7 mm (1/2") GYPSUM BOARD	**RSI / R-VALUE:** N/A **FRR:** - **STC:** -
W04		**W04 - 2 x 4 FURRING WALL** 12.7 mm (1/2") GYPSUM BOARD 38 x 89 (2x4) WOOD STUDS @ 600 mm o.c. 12.7 mm AIR SPACE *INSTALL TO ADJACENT PARTITION OR EXTERIOR WALL*	**RSI / R-VALUE:** N/A **FRR:** N/A **STC:** -
W01		**W01 - 2 X 6 WALL, 45 min** 38 x 140 (2x6) WOOD STUDS (REFER TO STRUCT.)	**RSI / R-VALUE:** N/A **FRR:** - **STC:** -
W01R		**W01F - 2 X 6 RATED WALL** 38 x 140 (2x6) WOOD STUDS (REFER TO STRUCT.)	**RSI / R-VALUE:** N/A **FRR:** - **STC:** -

ROOF ASSEMBLIES

R1		**R1 - WOOD MANUFACTURER WOOD TRUSS COLD ROOF ASSEMBLY (R60)** ASPHALT BUILT UP ROOFING ROOFING UNDERLAYMENT (AIR & VAPOUR PERMEABLE MEMBRANE) 12.5 mm (1/2") EXT. GRADE PLYWOOD SHEATHING PARALLEL CHORD WOOD TRUSS MAX 24" o/c. (AS PER MANUFACT. SPECS) BLOW-IN CELLULOSE INSULATION (R60) HIGH PERFORMANCE VAPOUR MEMRANE SEALED W/ HIGH-PERFORMANCE TAPE 15.8 mm TYPE 'X' GYPSUM BOARD	**RSI / R-VALUE:** R60 **FRR:** 45 min **STC:** N/A
R2		**R2 - DIMENSIONAL LUMBER ENTRY ROOF** ASPHALT BUILT UP ROOFING ROOFING UNDERLAYMENT (AIR & VAPOUR PERMEABLE MEMBRANE) 19.1 mm (3/4") EXT. GRADE PLYWOOD SHEATHING DIMENSIONAL LUMBER FRAMING AS PER PLAN EXTERIOR METAL SOFFIT AS PER CLIENT	**RSI / R-VALUE:** - **FRR:** - **STC:** N/A

FLOOR ASSEMBLIES

F1		**F1 SLAB-ON-GRADE FLOOR (R12.5)** FINISH FLOOR (REFER TO INT. FINISH PLANS) 100 mm CONC. SLAB (REFER TO STRUCT.) 15 mil RADON PROOF MEMBRANE SEALED W/ HIGH PERFORMANCE TAPE 50mm (2") RIGID INSULATION 100mm (4") RADON ROCK AND PROVISIONS AS PER BCBC 2018 NATIVE SOIL (REFER TO GEOTECH)	**RSI / R-VALUE:** R12.5 **FRR:** N/A **STC:** N/A
F2		**F2 - UNIT D RATED FLOOR (F38-TABLE 9.10.3.1.-B)** FINISH FLOOR (REFER TO INT. FINISH PLANS) 50 mm CONC. SLAB 3/4" PLYWOOD SUBLOOR OPEN WEB JOIST / WOOD FLOOR TRUSSES (AS PER DESIGNER) w/ OR w/o ABSORPTIVE MATERIAL IN CAVITY 1/2" (12.5mm) DEEP RESILIENT METAL CHANELS SPACED AT 400mm o/c. 15.9mm (5/8") TYPE X GYPSUM WALL BOARD	**RSI / R-VALUE:** N/A **FRR:** 1 hr. **STC:** 56
F3		**F3 - I-JOIST/WOOD TRUSS FLOOR** FINISH FLOOR (REFER TO INT. FINISH PLANS) 5/8" PLYWOOD SUBLOOR 11 7/8" I-JOIST / OPEN WEB FLOOR TRUSS (AS PER DESIGNER) 12.5mm (1/2") GYPSUM WALL BOARD	**RSI / R-VALUE:** N/A **FRR:** - **STC:** 29
F4		**F4 - I-JOIST/WOOD TRUSS FLOOR - RATED** FINISH FLOOR (REFER TO INT. FINISH PLANS) 5/8" PLYWOOD SUBLOOR 11 7/8" I-JOIST / OPEN WEB FLOOR TRUSS (AS PER DESIGNER) 12.5mm Type X (1/2") GYPSUM WALL BOARD 12.5mm Type X (1/2") GYPSUM WALL BOARD	**RSI / R-VALUE:** N/A **FRR:** 45 min **STC:** 33
F5		**F4 - WOOD FRAME ENTRY DECK** VINYL MEMBRANE INSTALLED AS PER MFTR 1/2" PLYWOOD SUBLOOR 2x8 FLOOR JOIST @ 600mm o/c.	
F6		**F5 - REAR YARD PATIO SLAB** 100mm CONC. PATIO SLAB. BROOM FINISH REINF. WITH 6x6x10 WWM OR 10M REBAR GRID @ 400mm o/c. (16") 200mm (4") WELL COMPACTED GRANULAR FILL NATIVE SOIL (REFER TO GEOTECH)	

Dimensions to Face of Foundation or Framing Stud UNO.

Habitat for Humanity® Southeast BC

No.	Date	Issue/Revision
C	FEB 22/22	FOR BUILDING PERMIT
1	FEB 09/22	DETAILS ADDED, FLOOR PLAN UPDATES, SCHEDULES UPDATED AS PER DESIGN REVIEW MEETING
B	FEB 02/22	FOR DEVELOPMENT PERMIT
1	JAN 24/22	DETAILS ADDED, UNIT C ADJUSTED
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Professional Engineer Stamp:

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Civil ' Structural
2240 Columbia Ave, Castlegar, B.C. V1N 2X4 Ph: (888) 417-6927

Project
Habitat for Humanity

560 8th Street
Castlegar, BC

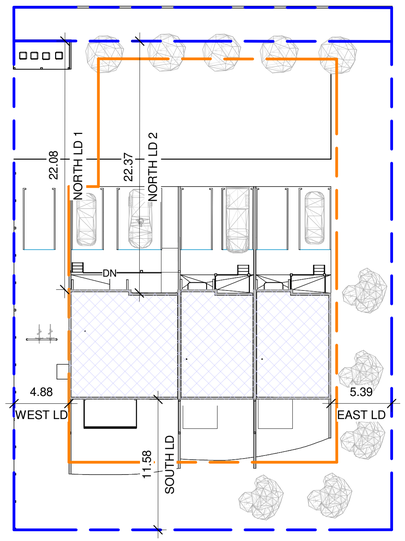
Drawing
CONSTRUCTION ASSEMBLIES

Date	11/13/21	Project No.	C21001 - 022
Designed	RS/ST	Drawing File	C21001 - 022 A1
Drawn	RS	Scale	1 : 10
Checked	ST/DW	Sheet No.	A1.3
Approved	DS	Issue/Rev.	A

FOR BUILDING PERMIT
NOT FOR CONSTRUCTION

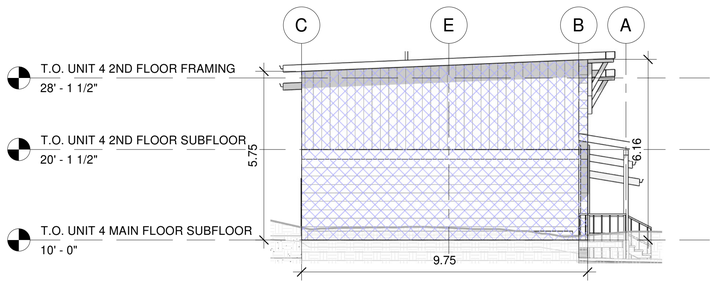
SPATIAL SEPARATION & CONSTRUCTION OF EXPOSED BUILDING FACE CALCULATION

WALL FACE:	WALL AREA (m2):	RATIO l/h:	LIMITING DISTANCES...	PERMITED OPENINGS (%):	ACTUAL OPENINGS (%):	REQUIRED WALL FRR	REQUIRED WALL CONSTRUCTION	REQUIRED CLADDING
NORTH:	69.8m2/83.5m2* (153.3m2 TOTAL)	23.27/6.56 = 3.5	22.06m/22.37m*	100	24.1m2 (15.7%)	45min	COMBUSTIBLE OR NONCOMBUSTIBLE	COMBUSTIBLE OR NONCOMBUSTIBLE
SOUTH:	126.9m2	23.27/5.42 = 4.3	11.58m	40	19.5m2 (15.36%)	45min	COMBUSTIBLE OR NONCOMSBUSTIBLE	NONCOMBUSTIBLE
EAST:	55.1m2	9.75/5.65=1.75	5.39m	18	0m2 (0%)	1hr	COMBUSTIBLE OR NONCOMBUSTIBLE	COMBUSTIBLE OR NONCOMBUSTIBLE
WEST:	74.3m2	9.75/8.29= 1.18	4.88m	18	0m2 (0%)	1HR	COMBUSTIBLE OR NONCOMBUSTIBLE	COMBUSTIBLE OR NONCOMBUSTIBLE



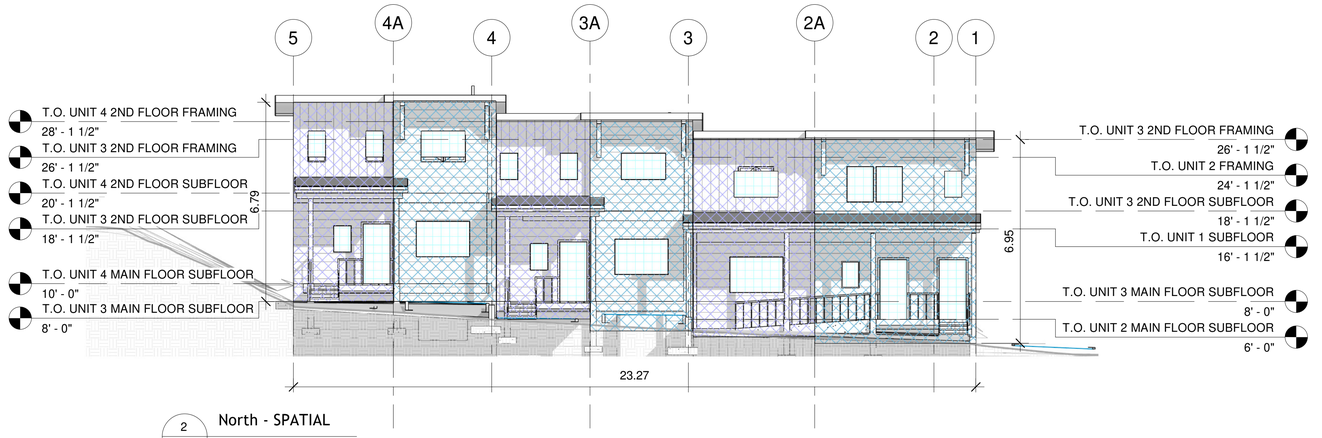
5 / A1.4 Site - Small

1 : 250



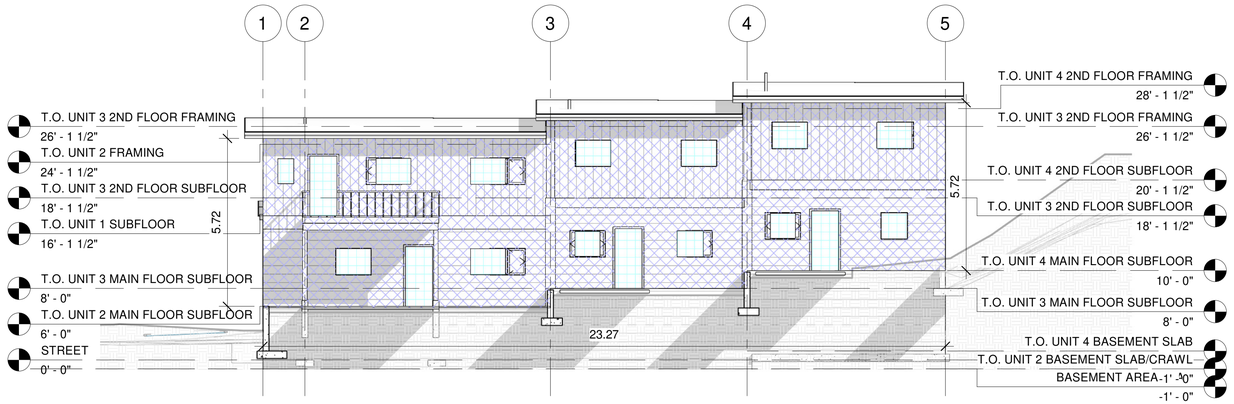
1 / A1.4 East -SPATIAL

1/8" = 1'-0"



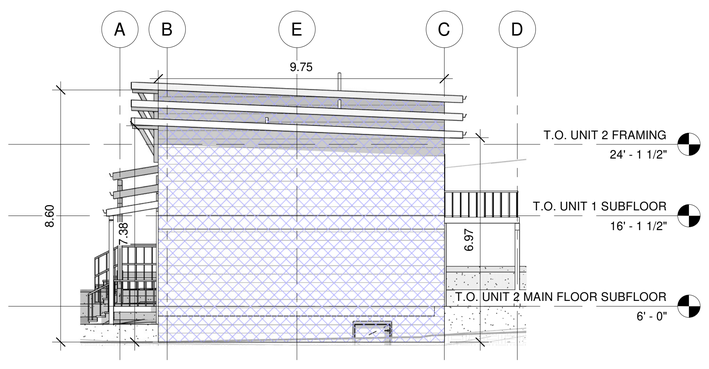
2 / A1.4 North - SPATIAL

1/8" = 1'-0"



3 / A1.4 South - SPATIAL

1/8" = 1'-0"



4 / A1.4 West - SPATIAL

1/8" = 1'-0"

FOR BUILDING PERMIT
NOT FOR CONSTRUCTION

Dimensions to Face of Foundation or Framing Stud UNO.

Habitat for Humanity® Southeast BC

No.	Date	Issue/Revision
C	FEB 22/22	FOR BUILDING PERMIT
1	FEB 09/22	DETAILS ADDED, FLOOR PLAN UPDATES, SCHEDULES UPDATED AS PER DESIGN REVIEW MEETING
B	FEB 02/22	FOR DEVELOPMENT PERMIT
1	JAN 24/22	DETAILS ADDED, UNIT C ADJUSTED
A	JAN 21/22	ISSUED FOR COORDINATION

Professional Engineer Stamp:

WSA ENGINEERING (2012) LTD.
Civil · Structural
2240 Columbia Ave, Castlegar, B.C. V1N 2X4 Ph: (888) 417-6927

Project
Habitat for Humanity

560 8th Street
Castlegar, BC

Drawing
SPATIAL SEPARATION

Date	11/13/21
Designed	RS/ST
Drawn	RS
Checked	ST/DW
Approved	DS
Project No.	C21001 - 022
Drawing File	C21001 - 022 A1
Scale	As indicated
Sheet No.	A1.4
Issue/Rev.	A

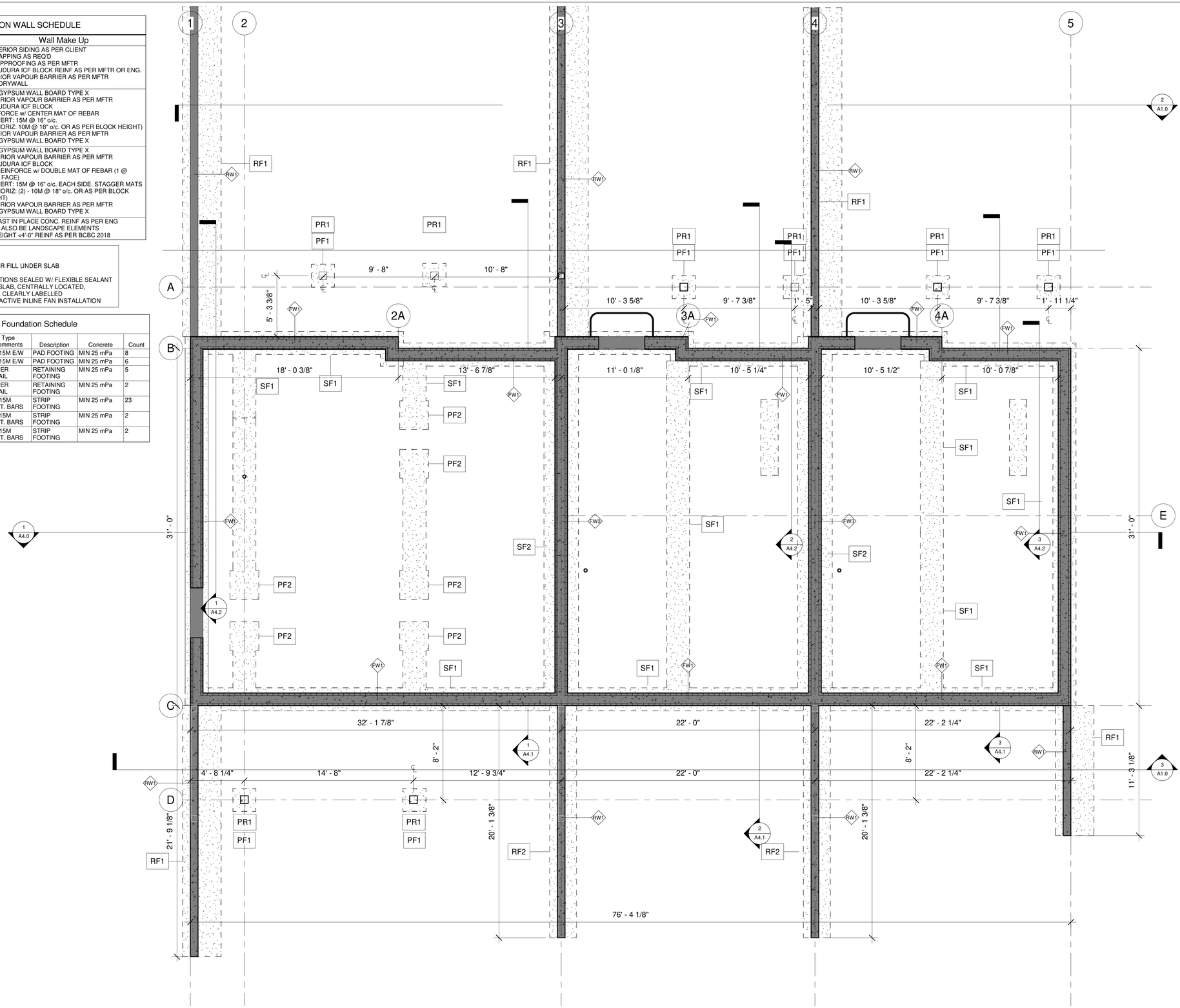
FOUNDATION WALL SCHEDULE

Mark	Type	Wall Make Up
FW1	8" ICF FOUNDATION WALL	- EXTERIOR SIDING AS PER CLIENT - STRAPPING AS REQ'D - DAMPPROOFING AS PER MFTR - 8" NUDURA ICF BLOCK REINF AS PER MFTR OR ENG. - INTEIOR VAPOUR BARRIER AS PER MFTR - 1/2" DRYWALL
FW2	6" ICF PARTY WALL	- 1/2" GYPSUM WALL BOARD TYPE X - INTERIOR VAPOUR BARRIER AS PER MFTR - 6" NUDURA ICF BLOCK REINFORCE w/ CENTER MAT OF REBAR VERT: 15M @ 16" o/c. HORIZ: 10M @ 18" o/c. OR AS PER BLOCK HEIGHT) - INTEIOR VAPOUR BARRIER AS PER MFTR - 1/2" GYPSUM WALL BOARD TYPE X
FW3	8" ICF PARTY WALL	- 1/2" GYPSUM WALL BOARD TYPE X - INTERIOR VAPOUR BARRIER AS PER MFTR - 8" NUDURA ICF BLOCK REINFORCE w/ DOUBLE MAT OF REBAR (1 @ EACH FACE) VERT: 15M @ 16" o/c. EACH SIDE. STAGGER MATS HORIZ: (2) - 10M @ 18" o/c. OR AS PER BLOCK HEIGHT) - INTERIOR VAPOUR BARRIER AS PER MFTR - 1/2" GYPSUM WALL BOARD TYPE X
RW1	8" CONC. RETAINING WALL	- 8" CAST IN PLACE CONC. REINF AS PER ENG - MAY ALSO BE LANDSCAPE ELEMENTS - IF HEIGHT <4'-0" REINF AS PER BCBC 2018

RADON GAS CONTROL:
SEE SECT. 9.13.4.3 OF THE BCBC
-MIN 4" CLEAN COARSE GRANULAR FILL UNDER SLAB
-6 MIL POLY V.B.
-SLAB PERIMETER AND PENETRATIONS SEALED W/ FLEXIBLE SEALANT
- 4" PIPE CAST VERTICALLY INTO SLAB, CENTRALLY LOCATED, CONTINUOUS. TO VENT AT ROOF. CLEARLY LABELLED
-ROUGH IN WIRING FOR FUTURE ACTIVE INLINE FAN INSTALLATION

Structural Foundation Schedule

Type Mark	Type	Type Comments	Description	Concrete	Count
PF1	24" x 24" x 8"	(3) - 15M E/W	PAD FOOTING	MIN 25 mPa	8
PF2	30" x 30" x 10"	(3) - 15M E/W	PAD FOOTING	MIN 25 mPa	6
RF1	Med Retaining Ftg	AS PER DETAIL	RETAINING FOOTING	MIN 25 mPa	5
RF2	Small Retaining Ftg 2	AS PER DETAIL	RETAINING FOOTING	MIN 25 mPa	2
SF1	24" x 10"	(3) - 15M CONT. BARS	STRIP FOOTING	MIN 25 mPa	23
SF2	36" x 12"	(4) - 15M CONT. BARS	STRIP FOOTING	MIN 25 mPa	2
SF3	18" x 8"	(2) - 15M CONT. BARS	STRIP FOOTING	MIN 25 mPa	2



1 A2.0 FOUNDATION PLAN
1/4" = 1'-0"

Dimensions to Face of Foundation or Framing Stud UNO.

DO NOT SCALE DRAWINGS
Written dimensions shall govern.

All dimensions to be verified on site by the contractor/builder. Report all errors or additions to the owner or designer prior to proceeding with the work

Habitat for Humanity® Southeast BC

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1	FEB 09/22	DETAILS ADDED, FLOOR PLAN UPDATES, SCHEDULES UPDATED AS PER DESIGN REVIEW MEETING
B	FEB 02/22	FOR DEVELOPMENT PERMIT
1	JAN 24/22	DETAILS ADDED, UNIT C ADJUSTED
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Professional Engineer Stamp:

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Civil ' Structural
2248 Columbia Ave, Castlegar, B.C. V1N 2X1 Ph: (888) 417-6927

Project
Habitat for Humanity

560 8th Street
Castlegar, BC

Drawing
FOUNDATION PLAN

Date: 11/13/21	Project No.: C21001 - 022
Designed: RS/ST	Drawing File: C21001 - 022 A1
Drawn: RS	Scale: As indicated
Checked: ST/DW	Sheet No.: A2.0 / Issue/Rev.: A
Approved: DS	

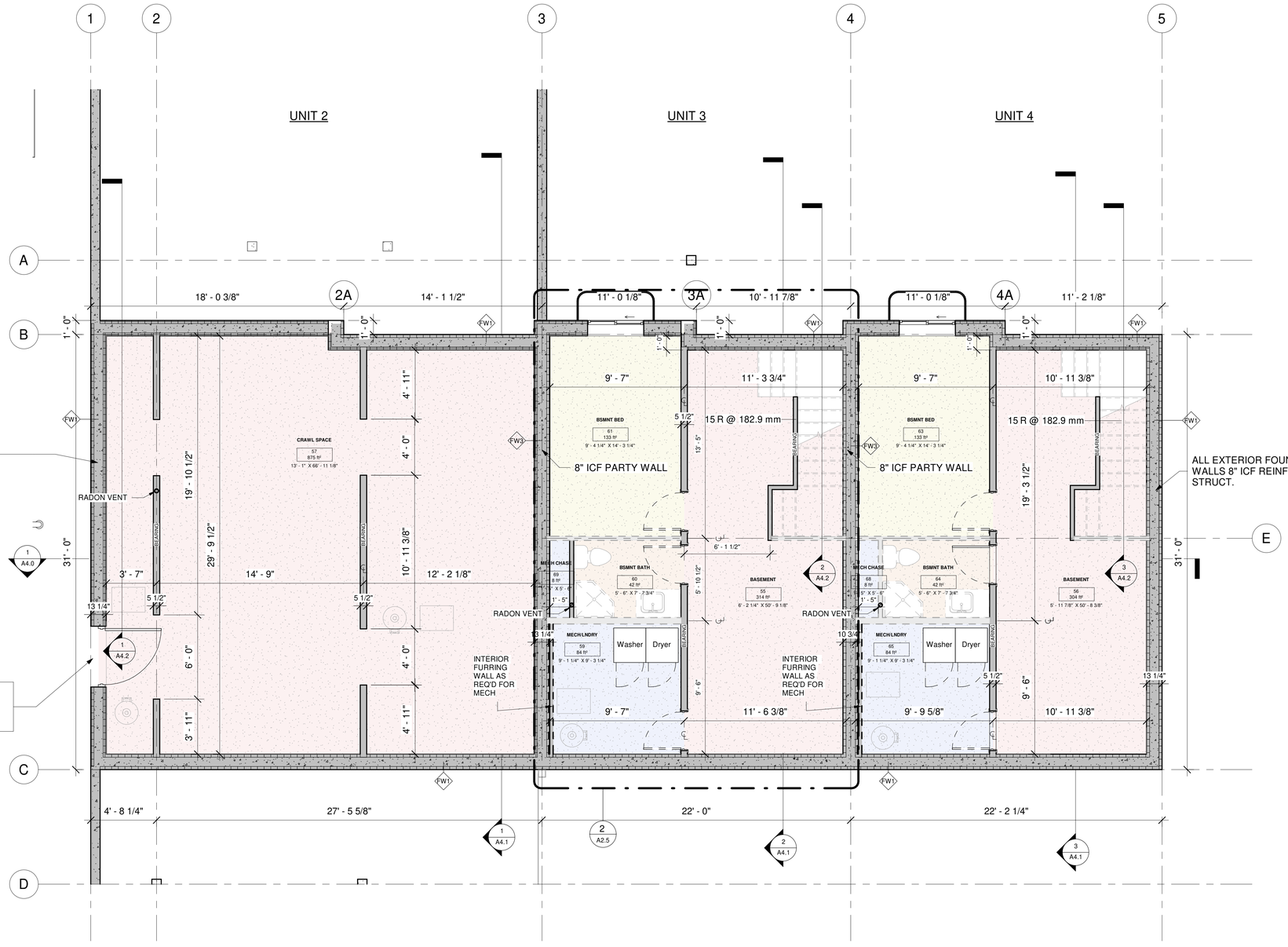
FOR BUILDING PERMIT
NOT FOR CONSTRUCTION

Room Legend

- Basement
- Bath
- Bed
- Mech

Basement Room Schedule

Unit	Name	Level	Area	Type
A	CRAWL SPACE	BASEMENT	875 ft²	Basement
A: 1			875 ft²	
B	BASEMENT	BASEMENT	314 ft²	Basement
B	MECH/LNDRY	BASEMENT	84 ft²	Mech
B	BSMNT BATH	BASEMENT	42 ft²	Bath
B	BSMNT BED	BASEMENT	133 ft²	Bed
B	MECH CHASE	BASEMENT	8 ft²	Mech
B: 5			582 ft²	
C	BASEMENT	BASEMENT	304 ft²	Basement
C	BSMNT BED	BASEMENT	133 ft²	Bed
C	BSMNT BATH	BASEMENT	42 ft²	Bath
C	MECH/LNDRY	BASEMENT	84 ft²	Mech
C: 4			564 ft²	
Mech	MECH CHASE	BASEMENT	8 ft²	Mech
Mech: 1			8 ft²	
BASEMENT: 11			2029 ft²	
Grand total: 11			2029 ft²	



NOTE: ALL INTERIOR NON LOADBEARING OR MECHANICAL WALLS AND BASEMENT BATHROOM TO BE FINISHED IN FUTURE. PROVIDE ROUGH IN PLUMBING FOR BATHROOM

1 / A2.1 BASEMENT/CRAWL

1/4" = 1'-0"

RADON GAS CONTROL:
SEE SECT. 9.13.4.3 OF THE BCBC
-MIN 4" CLEAN COARSE GRANULAR FILL UNDER SLAB
-6 MIL POLY V.B.
-SLAB PERIMETER AND PENETRATIONS SEALED W/ FLEXIBLE SEALANT
- -4" PIPE CAST VERTICALLY INTO SLAB, CENTRALLY LOCATED, CONTINUOUS TO VENT AT ROOF, CLEARLY LABELLED
-ROUGH IN WIRING FOR FUTURE ACTIVE INLINE FAN INSTALLATION

Dimensions to Face of Foundation or Framing Stud UNO.

Habitat for Humanity® Southeast BC

No.	Date	Issue/Revision
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Professional Engineer Stamp:

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Civil ' Structural
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Project
Habitat for Humanity

560 8th Street
Castlegar, BC

Drawing
BASEMENT FLOOR PLAN

Date	11/13/21	Project No.	C21001 - 022
Designed	RS/ST	Drawing File	C21001 - 022 A1
Drawn	RS	Scale	As indicated
Checked	ST/DW	Sheet No.	A2.1
Approved	DS	Issue/Rev.	A

FOR BUILDING PERMIT
NOT FOR CONSTRUCTION

Room Legend

- Bath
- Bed
- Closet
- Hall
- Kitchen
- Living
- Mech

Main Floor Room Schedule

Unit	Name	Level	Area	Type
A	ENTRY/KITCHEN	MAIN FLOOR	192 ft²	Kitchen
A	LIVING	MAIN FLOOR	139 ft²	Living
A	HALL	MAIN FLOOR	77 ft²	Hall
A	MSTR	MAIN FLOOR	153 ft²	Bed
A	BATH	MAIN FLOOR	78 ft²	Bath
A	LNDRY	MAIN FLOOR	15 ft²	Closet
A	BED 1	MAIN FLOOR	96 ft²	Bed
A	CLST 1	MAIN FLOOR	11 ft²	Closet
A	MSTR CLST	MAIN FLOOR	47 ft²	Closet
A	UNIT D ENTRY	MAIN FLOOR	58 ft²	Hall
A	MECH CHASE	MAIN FLOOR	7 ft²	Mech
A: 11			873 ft²	
B	LIVING	MAIN FLOOR	218 ft²	Living
B	ENTRY CLST	MAIN FLOOR	16 ft²	Closet
B	KITCHEN/DINING	MAIN FLOOR	262 ft²	Kitchen
B	BATH	MAIN FLOOR	38 ft²	Bath
B	LINEN	MAIN FLOOR	4 ft²	Closet
B	MECH CHASE	MAIN FLOOR	7 ft²	Mech
B: 6			546 ft²	
C	BATH	MAIN FLOOR	38 ft²	Bath
C	LINEN	MAIN FLOOR	4 ft²	Closet
C	MECH CHASE	MAIN FLOOR	7 ft²	Mech
C	ENTRY CLST	MAIN FLOOR	14 ft²	Closet
C	KITCHEN/DINING	MAIN FLOOR	260 ft²	Kitchen
C	LIVING	MAIN FLOOR	215 ft²	Living
C: 6			539 ft²	
MAIN FLOOR: 23			1957 ft²	
Grand total: 23			1957 ft²	

1 / A2.2 — FIRST FLOOR

1/4" = 1'-0"

Dimensions to Face of Foundation or Framing Stud UNO.

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Habitat for Humanity® Southeast BC

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C	FEB 22/22	FOR BUILDING PERMIT
1	FEB 09/22	DETAILS ADDED, FLOOR PLAN UPDATES, SCHEDULES UPDATED AS PER DESIGN REVIEW MEETING
B	FEB 02/22	FOR DEVELOPMENT PERMIT
1	JAN 24/22	DETAILS ADDED, UNIT C ADJUSTED
A	JAN 21/22	ISSUED FOR COORDINATION

Professional Engineer Stamp:

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Civil ' Structural
2248 Columbia Ave, Castlegar, B.C. V1N 2X1 Ph: (888) 417-6927

Project
Habitat for Humanity

560 8th Street
Castlegar, BC

Drawing
MAIN FLOOR PLAN

FOR BUILDING PERMIT
NOT FOR CONSTRUCTION

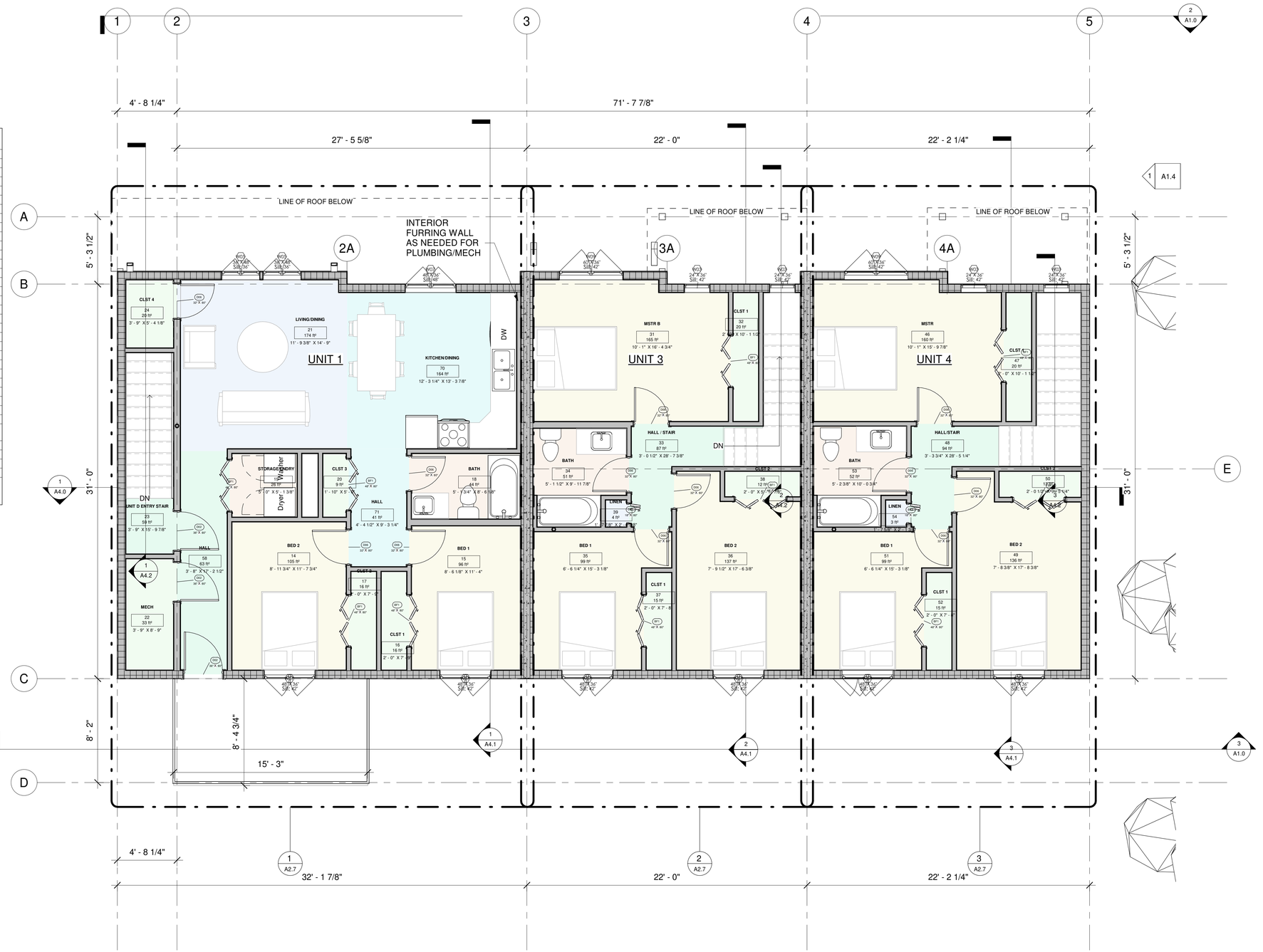
Date 11/13/21	Project No. C21001 - 022
Designed RS/ST	Drawing File C21001 - 022 A1
Drawn RS	Scale 1/4" = 1'-0"
Checked ST/DW	Sheet No. A2.2 / Issue/Rev. A
Approved DS	

Room Legend

- Bath
- Bed
- Closet
- Hall
- Kitchen
- Living

Upper Floor Room Schedule

Unit	Name	Level	Area	Type
B	MSTR B	UPPER FLOOR	165 ft²	Bed
B	CLST 1	UPPER FLOOR	20 ft²	Closet
B	HALL / STAIR	UPPER FLOOR	87 ft²	Hall
B	BATH	UPPER FLOOR	51 ft²	Bath
B	BED 1	UPPER FLOOR	99 ft²	Bed
B	BED 2	UPPER FLOOR	137 ft²	Bed
B	CLST 1	UPPER FLOOR	15 ft²	Closet
B	CLST 2	UPPER FLOOR	12 ft²	Closet
B	LINEN	UPPER FLOOR	4 ft²	Living
B: 9			591 ft²	
C	MSTR	UPPER FLOOR	160 ft²	Bed
C	CLST 1	UPPER FLOOR	20 ft²	Closet
C	HALL/STAIR	UPPER FLOOR	94 ft²	Hall
C	BED 2	UPPER FLOOR	136 ft²	Bed
C	CLST 2	UPPER FLOOR	13 ft²	Closet
C	BED 1	UPPER FLOOR	99 ft²	Bed
C	CLST 1	UPPER FLOOR	15 ft²	Closet
C	BATH	UPPER FLOOR	52 ft²	Bath
C	LINEN	UPPER FLOOR	3 ft²	Living
C: 9			594 ft²	
D	BED 2	UPPER FLOOR	105 ft²	Bed
D	BED 1	UPPER FLOOR	96 ft²	Bed
D	CLST 1	UPPER FLOOR	16 ft²	Closet
D	CLST 2	UPPER FLOOR	16 ft²	Closet
D	BATH	UPPER FLOOR	44 ft²	Bath
D	STORAGE/LNDRY	UPPER FLOOR	26 ft²	Bath
D	CLST 3	UPPER FLOOR	9 ft²	Closet
D	LIVING/DINING	UPPER FLOOR	174 ft²	Living
D	MECH	UPPER FLOOR	33 ft²	Closet
D	UNIT D ENTRY STAIR	UPPER FLOOR	59 ft²	Hall
D	CLST 4	UPPER FLOOR	20 ft²	Closet
D	HALL	UPPER FLOOR	63 ft²	Hall
D	KITCHEN/DINING	UPPER FLOOR	164 ft²	Kitchen
D	HALL	UPPER FLOOR	41 ft²	Kitchen
D: 14			864 ft²	
UPPER FLOOR: 32			2048 ft²	
Grand total: 32			2048 ft²	



1 A2.3 SECOND FLOOR

1/4" = 1'-0"

Dimensions to Face of Foundation or Framing Stud UNO.

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Habitat for Humanity® Southeast BC

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1	JAN 24/22	DETAILS ADDED, UNIT C ADJUSTED
A	JAN 21/22	ISSUED FOR COORDINATION

Professional Engineer Stamp:

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Civil ' Structural
2248 Columbia Ave, Castlegar, B.C. V1N 2X1 Ph: (888) 417-6927

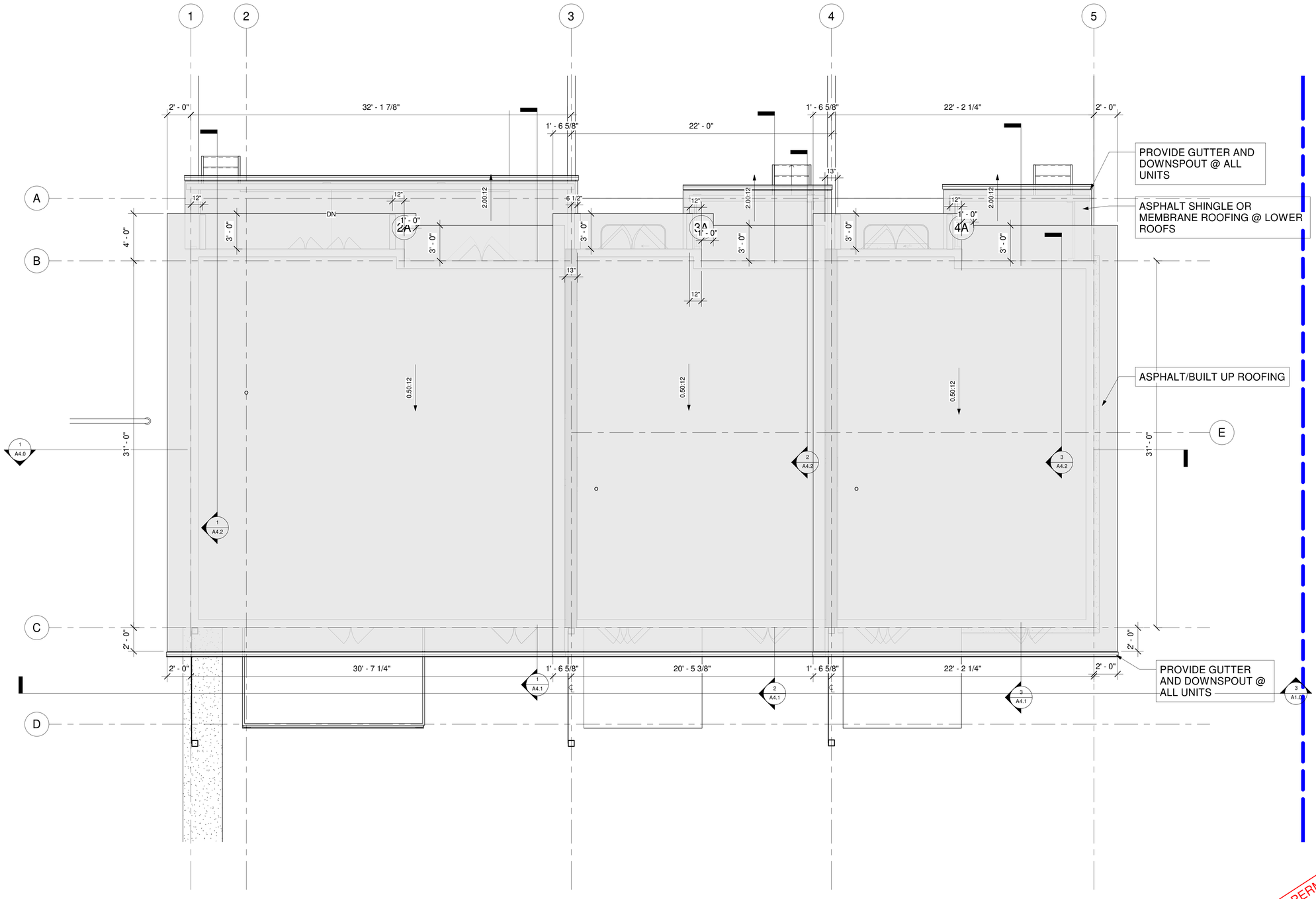
Project
Habitat for Humanity

560 8th Street
Castlegar, BC

Drawing
SECOND FLOOR PLAN

FOR BUILDING PERMIT
NOT FOR CONSTRUCTION

Date 11/13/21	Project No. C21001 - 022
Designed RS/ST	Drawing File C21001 - 022 A1
Drawn RS	Scale 1/4" = 1'-0"
Checked ST/DW	Sheet No. A2.3 / Issue/Rev. A
Approved DS	



1 A2.4 ROOF

1/4" = 1'-0"

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Professional Engineer Stamp:

WSA ENGINEERING (2012) LTD.
Civil ' Structural
2248 Columbia Ave, Castlegar, B.C. V1N 2X1 Ph: (888) 447-4927

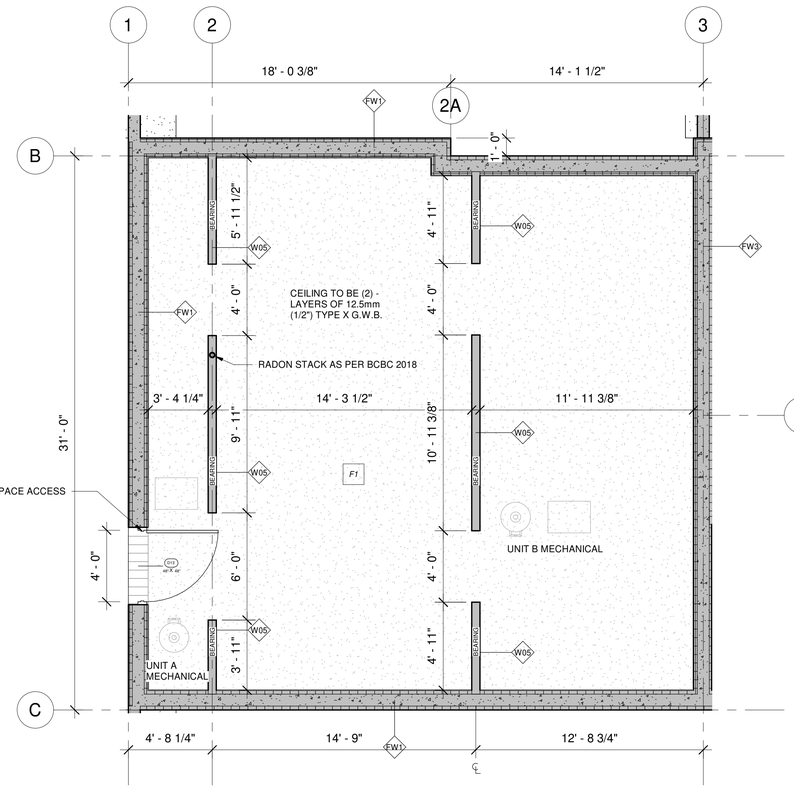
Project
Habitat for Humanity

560 8th Street
Castlegar, BC

Drawing
ROOF LAYOUT

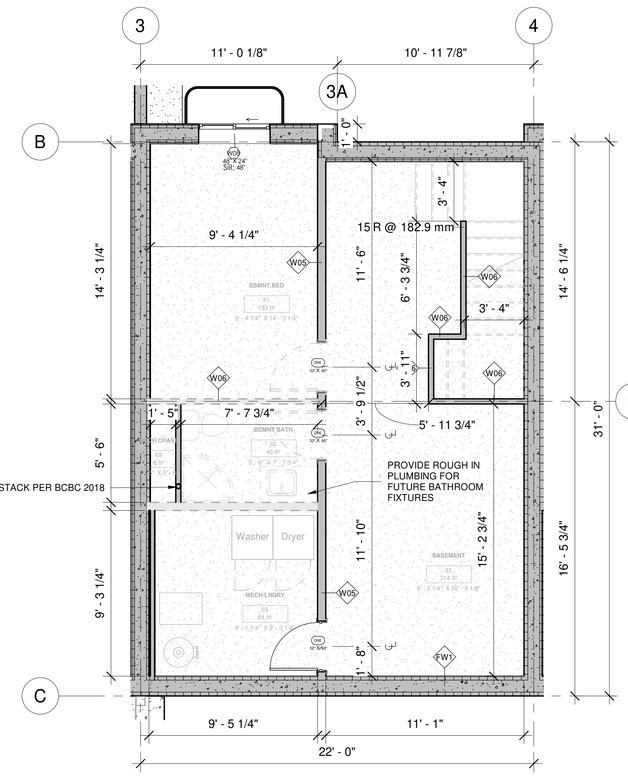
Date	11/13/21	Project No.	C21001 - 022
Designed	RS/ST	Drawing File	C21001 - 022 A1
Drawn	RS	Scale	1/4" = 1'-0"
Checked	ST/DW	Sheet No.	A2.4
Approved	DS	Issue/Rev.	A

FOR BUILDING PERMIT
NOT FOR CONSTRUCTION



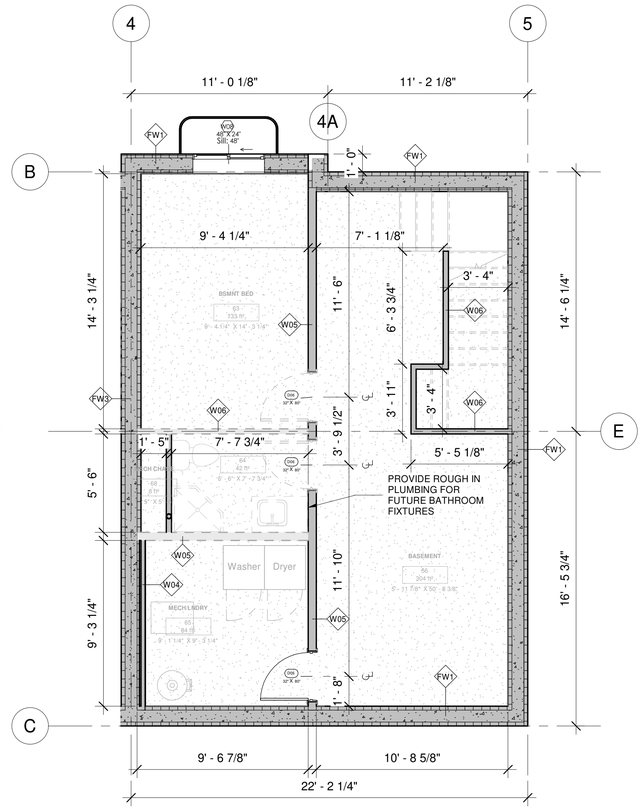
1 A2.5 T.O. UNIT 2 CRAWL SLAB

1/4" = 1'-0"



2 A2.5 T.O. UNIT 3 BASEMENT SLAB

1/4" = 1'-0"



3 A2.5 T.O. UNIT 4 BASEMENT SLAB

1/4" = 1'-0"

SYMBOL LEDGEND	
1 / A101	BUILDING SECTION
1 / A101	DETAIL
0	GRID HEAD
Room name 101 150 m2	ROOM TAG
?	KEYNOTE TAG
1t	DOOR TAG
1i	WALL TAG
1i	WINDOW TAG
1f	FLOOR TAG

Dimensions to Face of Foundation or Framing Stud UNO.

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Professional Engineer Stamp:

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Civil · Structural
2240 Columbia Ave. Castlegar, B.C. V1N 2X4 Ph: (888) 417-6927

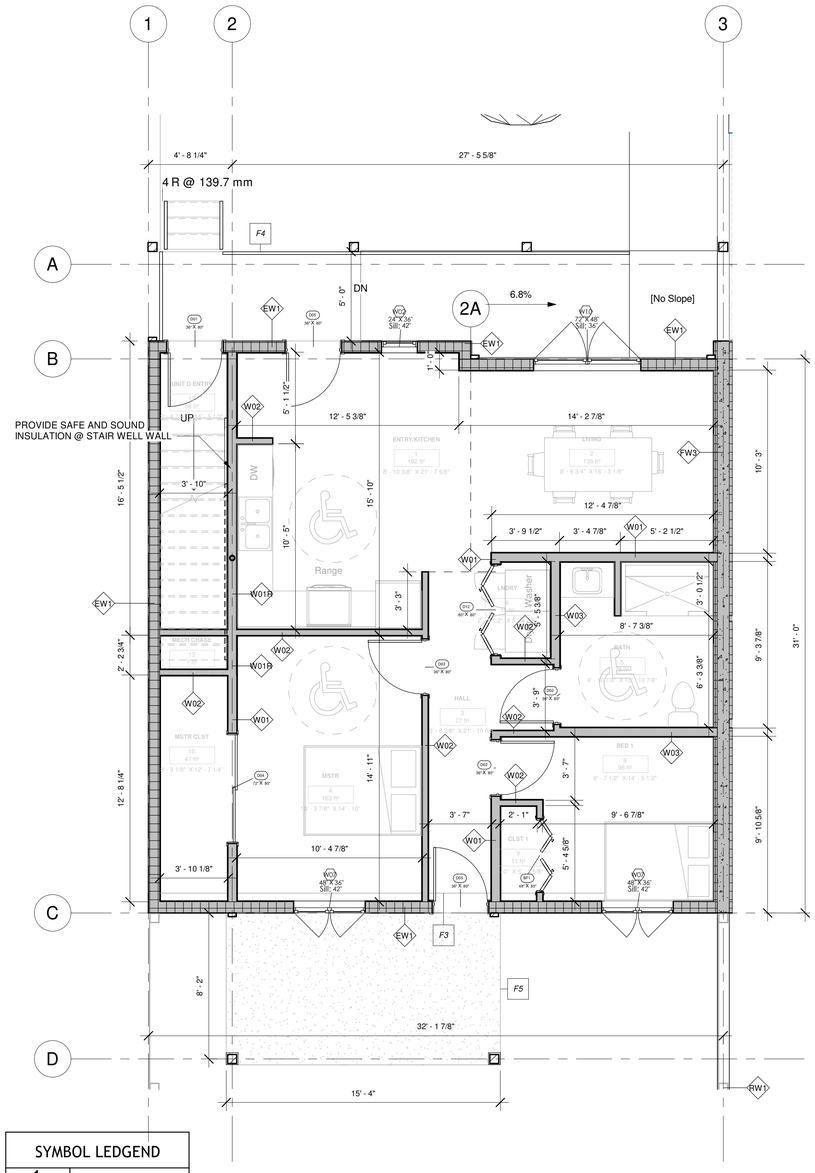
Project
Habitat for Humanity

560 8th Street
Castlegar, BC

Drawing
BASEMENT UNIT LAYOUT

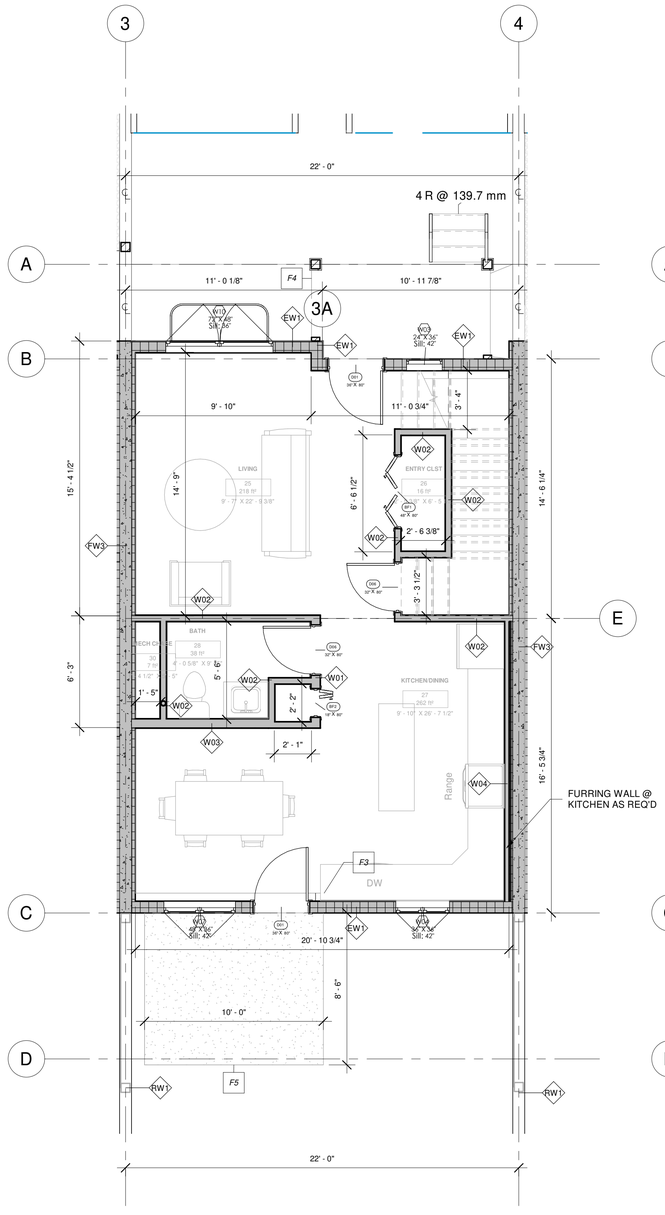
FOR BUILDING PERMIT
NOT FOR CONSTRUCTION

Date	11/13/21	Project No.	C21001 - 022
Designed	RS/ST	Drawing File	C21001 - 022 A1
Drawn	RS	Scale	As indicated
Checked	ST/DW	Sheet No.	A2.5
Approved	DS	Issue/Rev.	A



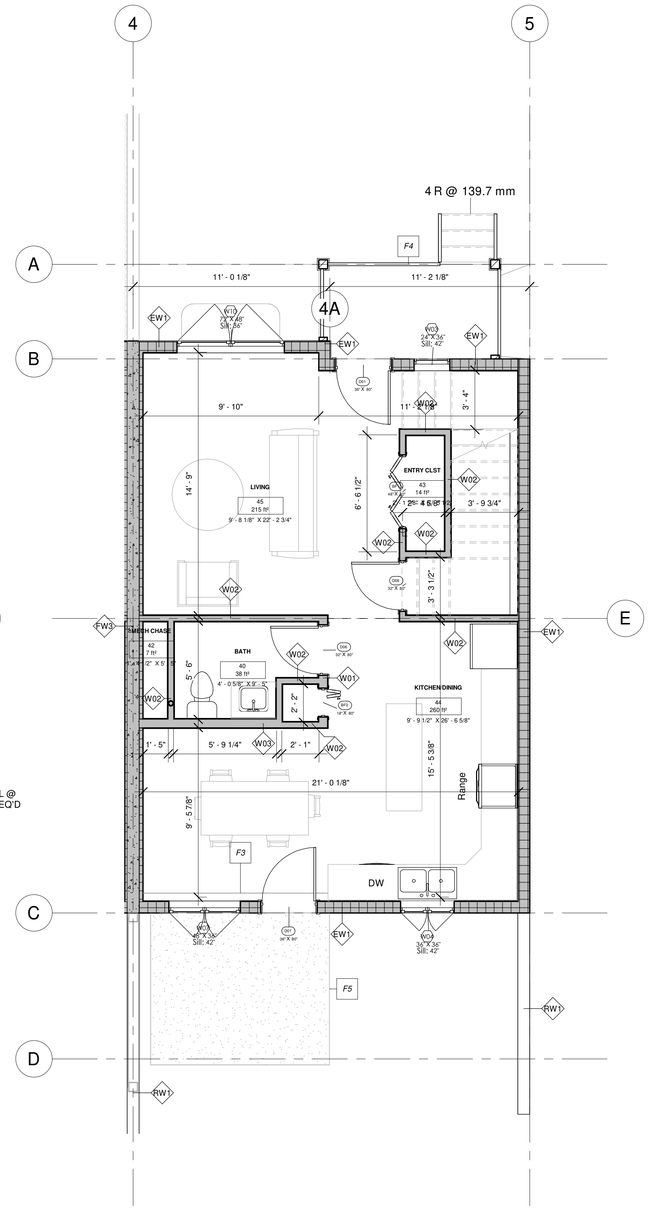
1 A2.6 — T.O. UNIT 1 1ST FLOOR

1/4" = 1'-0"



2 A2.6 — T.O. UNIT 3 1ST FLOOR

1/4" = 1'-0"



3 A2.6 — T.O. UNIT 4 1ST FLOOR

1/4" = 1'-0"

SYMBOL LEDGEND

1 / A101	BUILDING SECTION
1 / A101	DETAIL
0	GRID HEAD
Room name / 101 / 150 m2	ROOM TAG
?	KEYNOTE TAG
1!	DOOR TAG
1!	WALL TAG
1!	WINDOW TAG
1!	FLOOR TAG

Dimensions to Face of Foundation or Framing Stud UNO.

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Habitat for Humanity® Southeast BC

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Civil ' Structural
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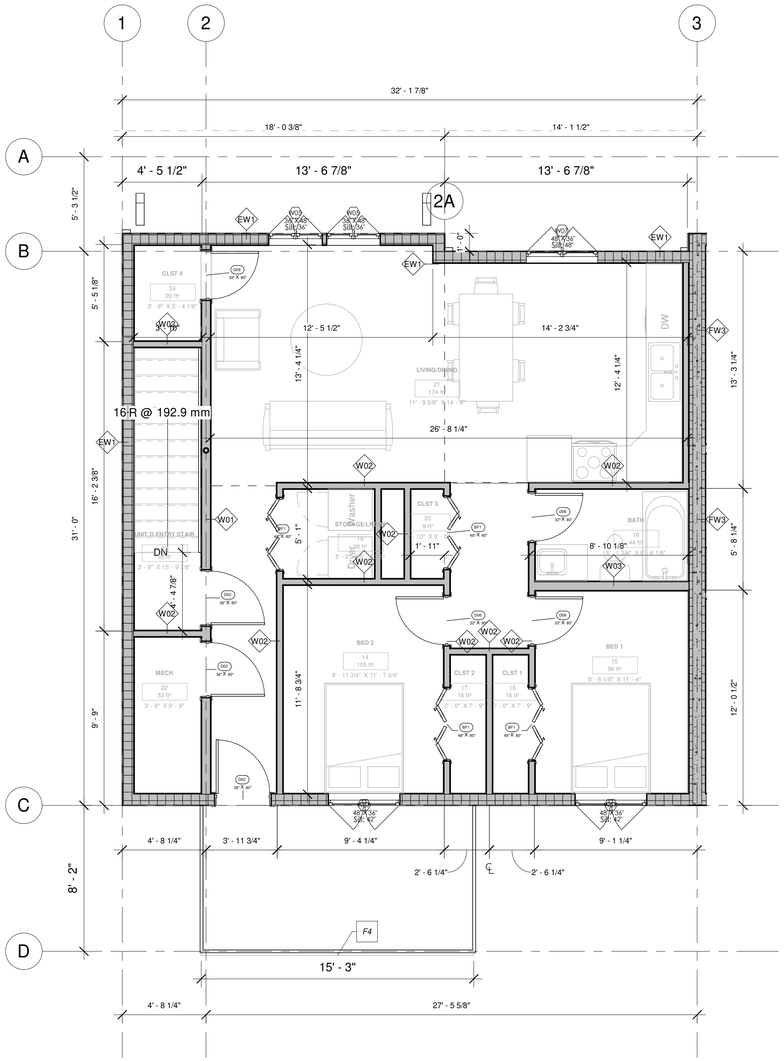
Project
Habitat for Humanity

560 8th Street
Castlegar, BC

Drawing
MAIN FLOOR UNIT LAYOUT

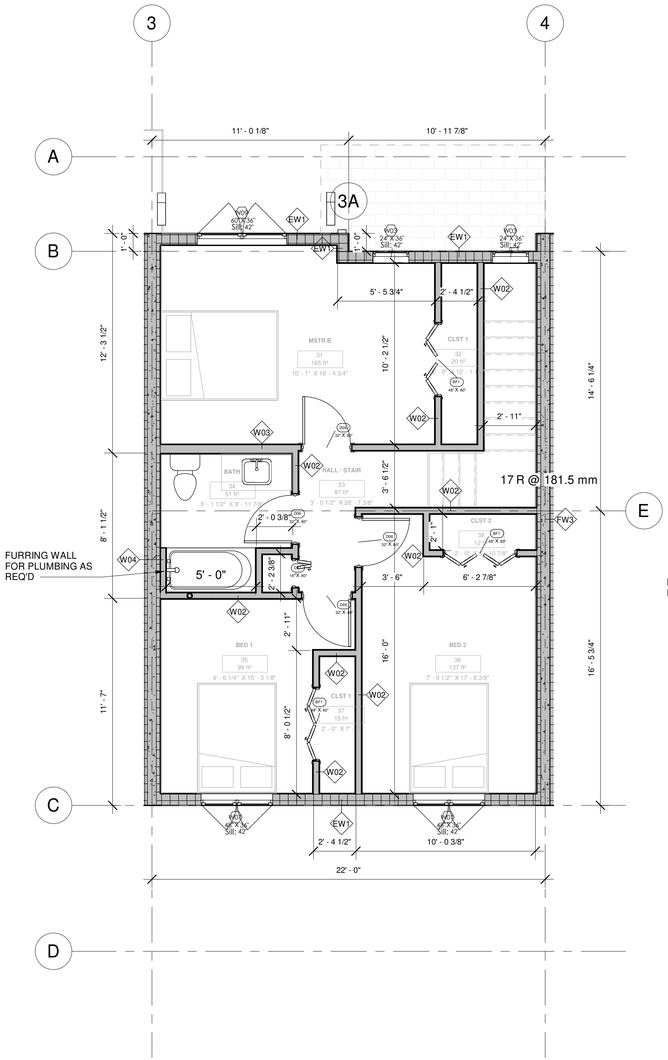
FOR BUILDING PERMIT
NOT FOR CONSTRUCTION

Date	11/13/21	Project No.	C21001 - 022
Designed	RS/ST	Drawing File	C21001 - 022 A1
Drawn	RS	Scale	As indicated
Checked	ST/DW	Sheet No.	A2.6
Approved	DS	Issue/Rev.	A



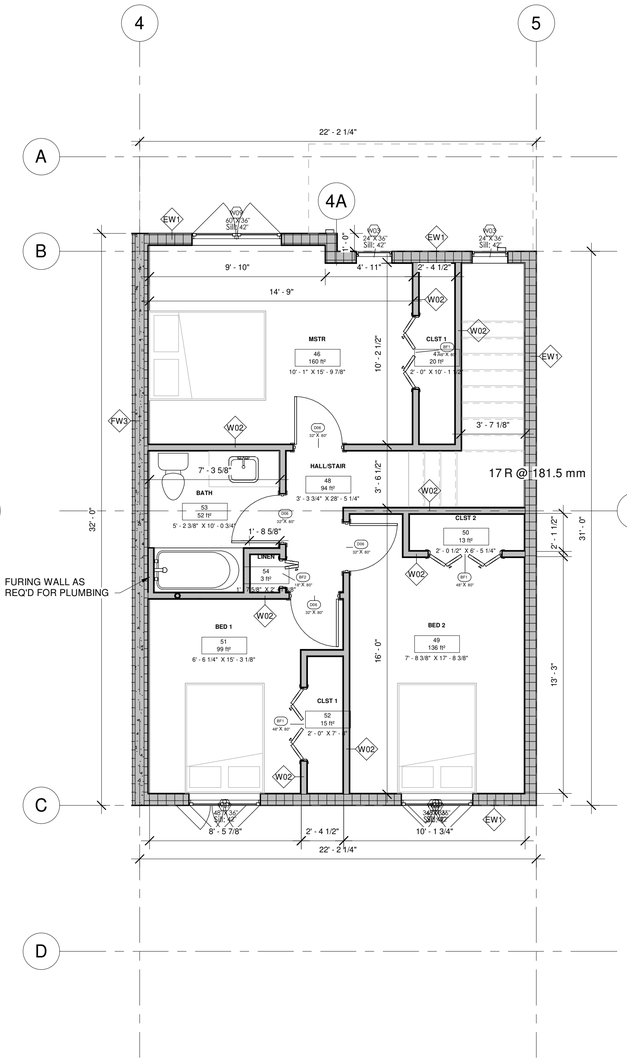
1 A2.7 T.O. UNIT 2 2ND FLOOR

1/4" = 1'-0"



2 A2.7 T.O. UNIT 3 2ND FLOOR

1/4" = 1'-0"



3 A2.7 T.O. UNIT 4 2ND FLOOR

1/4" = 1'-0"

SYMBOL LEDGEND	
1 / A101	BUILDING SECTION
1 / A101	DETAIL
0	GRID HEAD
Room name 101 150 m2	ROOM TAG
?	KEYNOTE TAG
1t	DOOR TAG
1t	WALL TAG
1t	WINDOW TAG
1t	FLOOR TAG

Dimensions to Face of Foundation or Framing Stud UNO.

DO NOT SCALE DRAWINGS
Written dimensions shall govern.

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Habitat for Humanity® Southeast BC

No.	Date	Issue/Revision
C	FEB 22/22	FOR BUILDING PERMIT
1	FEB 09/22	DETAILS ADDED, FLOOR PLAN UPDATES, SCHEDULES UPDATED AS PER DESIGN REVIEW MEETING
B	FEB 02/22	FOR DEVELOPMENT PERMIT
1	JAN 24/22	DETAILS ADDED, UNIT C ADJUSTED
A	JAN 21/22	ISSUED FOR COORDINATION

Professional Engineer Stamp:

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Civil · Structural
2240 Columbia Ave. Castlegar, B.C. V1N 2X1 Ph: (888) 617-6927

Project
Habitat for Humanity

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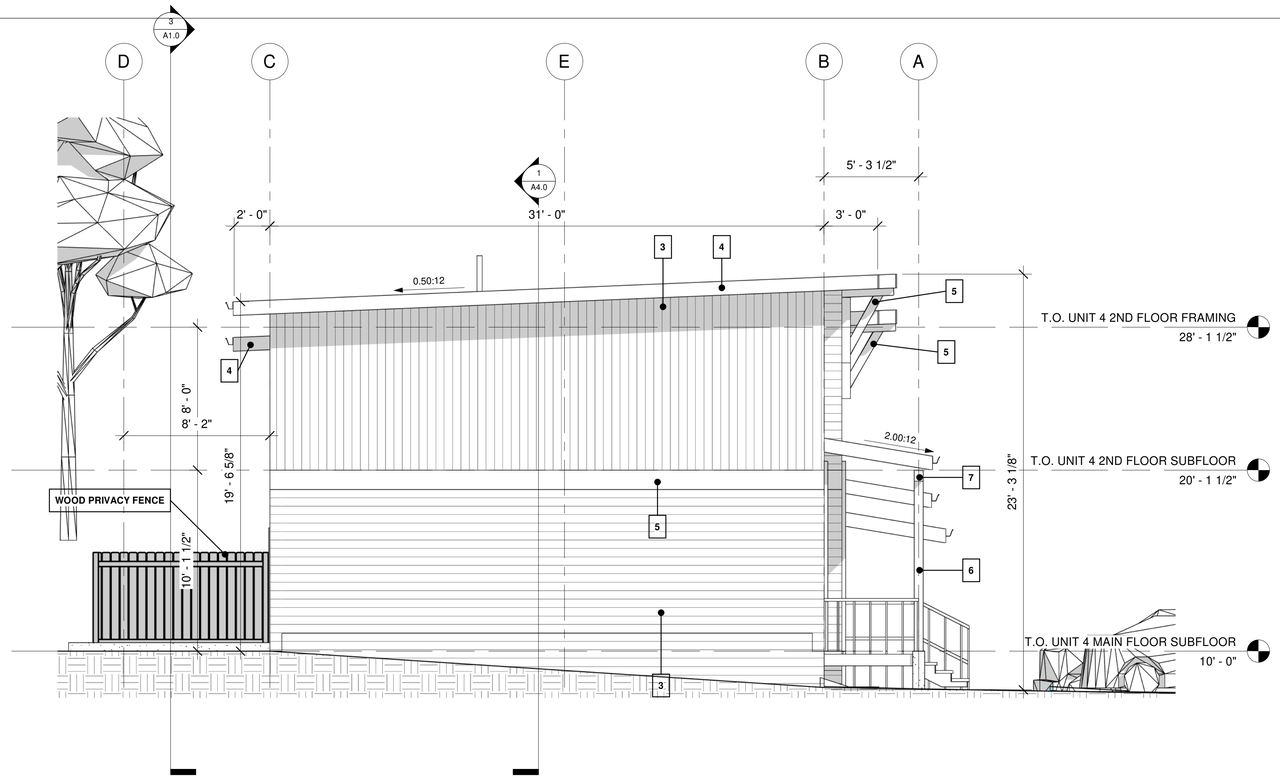
Castlegar, BC

Drawing
UPPER FLOOR UNIT LAYOUT

FOR BUILDING PERMIT
NOT FOR CONSTRUCTION

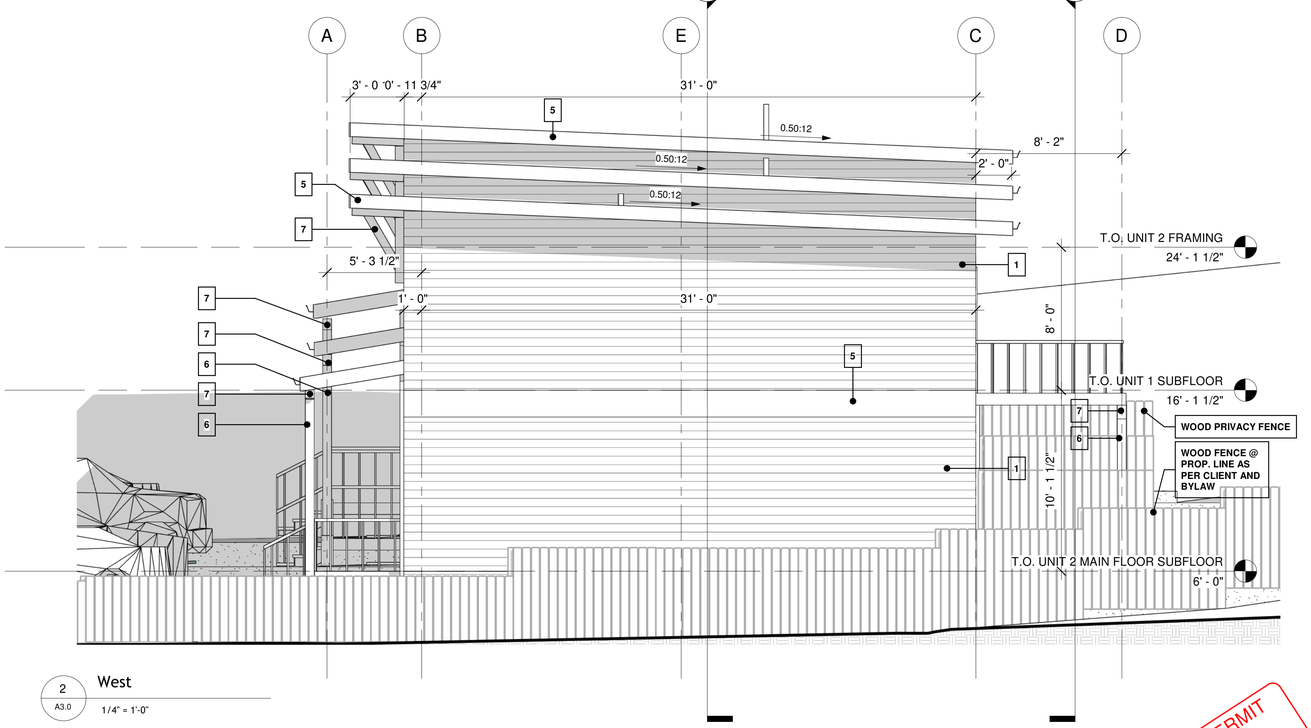
Date	11/13/21	Project No.	C21001 - 022
Designed	RS/ST	Drawing File	C21001 - 022 A1
Drawn	RS	Scale	As indicated
Checked	ST/DW	Sheet No.	A2.7
Approved	DS	Issue/Rev.	A



1 A3.0 East

1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE		
TAG	**TYPE**	**COLOR**
1	HARDIPLANK LAP SIDING	BOOTHBAY BLUE
2	HARDIPLANK LAP SIDING	IRON GRAY
3	HARDIPLANK LAP SIDING	ARCTIC WHITE
4	HARDIPANEL VERTICAL SIDING	COBBLE STONE
5	HARDITRIM BOARDS	ARCTIC WHITE
6	TIMBER ACCENT	D.FIR WITH SEMI TRANSPARENT STAIN PER CLIENT
7	EXTERIOR COLUMN	SOLID TIMBER OR TIMBER CLADDING WITH SEMI TRANSPARENT STAIN PER CLIENT
8	ROOF SUPPORT BEAM	TIMBER CLADDING WITH SEMI TRANSPARENT STAIN PER CLIENT



2 A3.0 West

1/4" = 1'-0"

FOR BUILDING PERMIT
NOT FOR CONSTRUCTION

Dimensions to Face of Foundation or Framing Stud UNO.

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Habitat for Humanity® Southeast BC

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1	JAN 24/22	DETAILS ADDED, UNIT C ADJUSTED
A	JAN 21/22	ISSUED FOR COORDINATION

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Project
Habitat for Humanity

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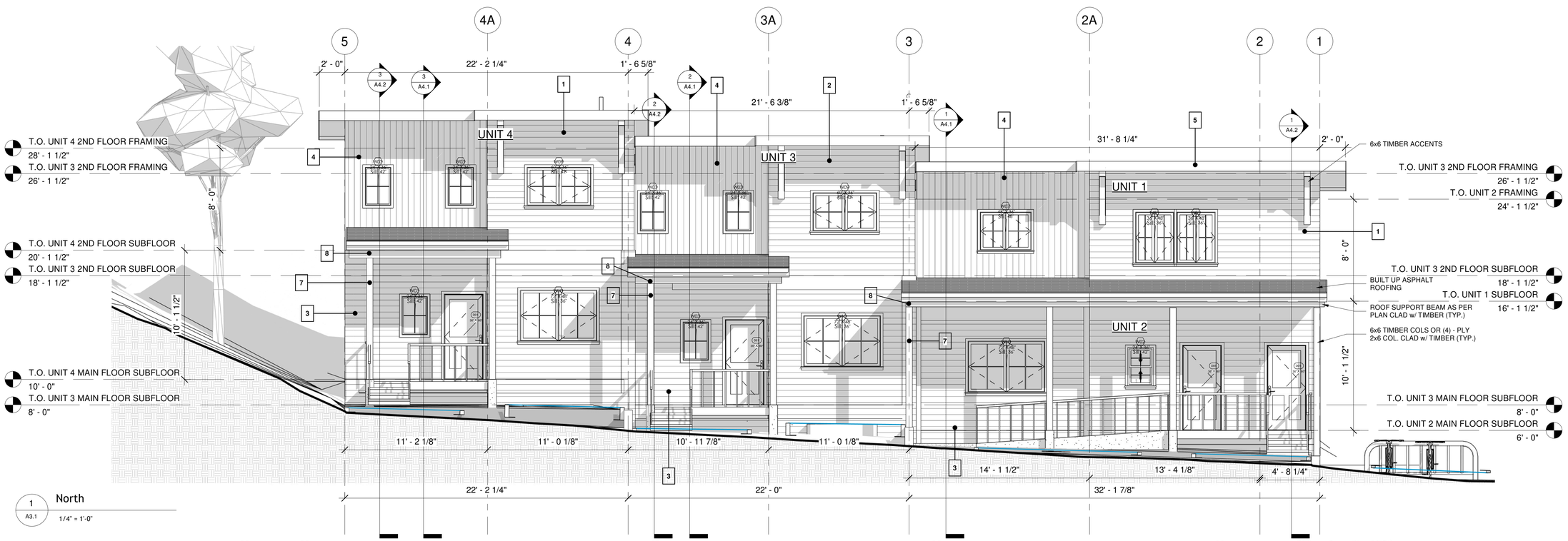
Castlegar, BC

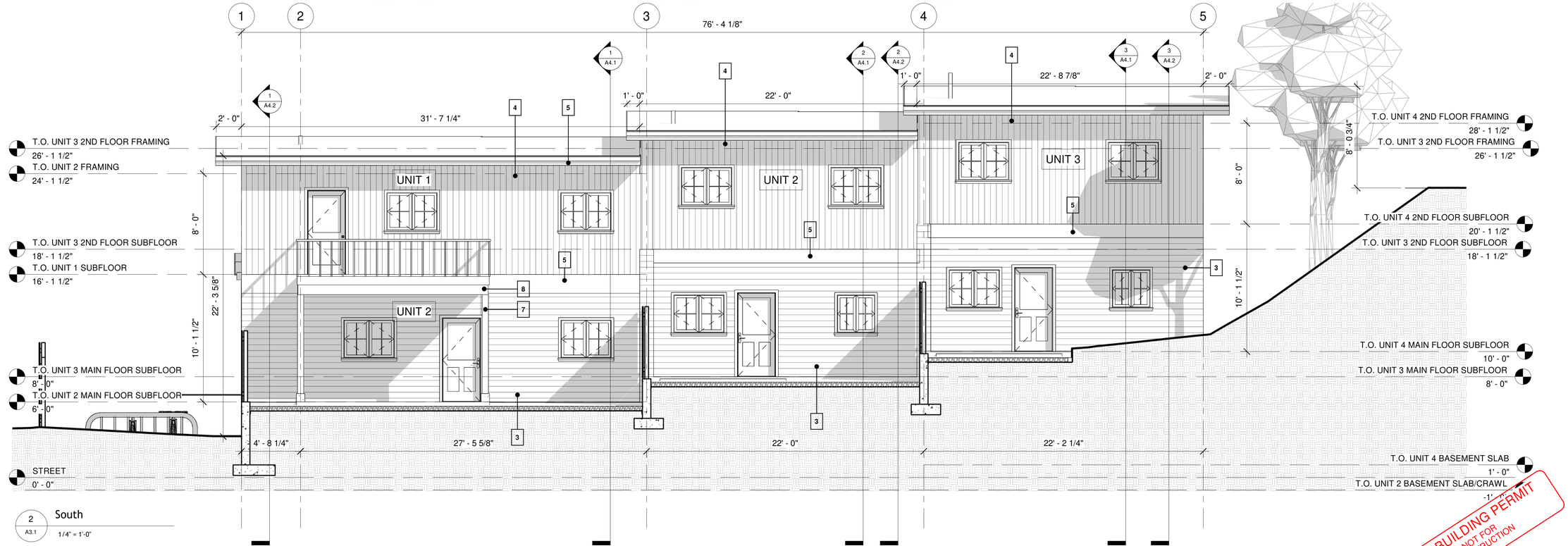
Drawing
E-W ELEVATIONS

Date: 11/13/21	Project No.: C21001 - 022
Designed: RS/ST	Drawing File: C21001 - 022 A1
Drawn: RS	Scale: 1/4" = 1'-0"
Checked: ST/DW	Sheet No.: A3.0 / Issue/Rev.: A
Approved: DS	



1 A3.1 North

1/4" = 1'-0"



2 A3.1 South

1/4" = 1'-0"

FOR BUILDING PERMIT
NOT FOR CONSTRUCTION

Dimensions to Face of Foundation or Framing Stud UNO.

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A	JAN 21/22	ISSUED FOR COORDINATION

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Project
Habitat for Humanity

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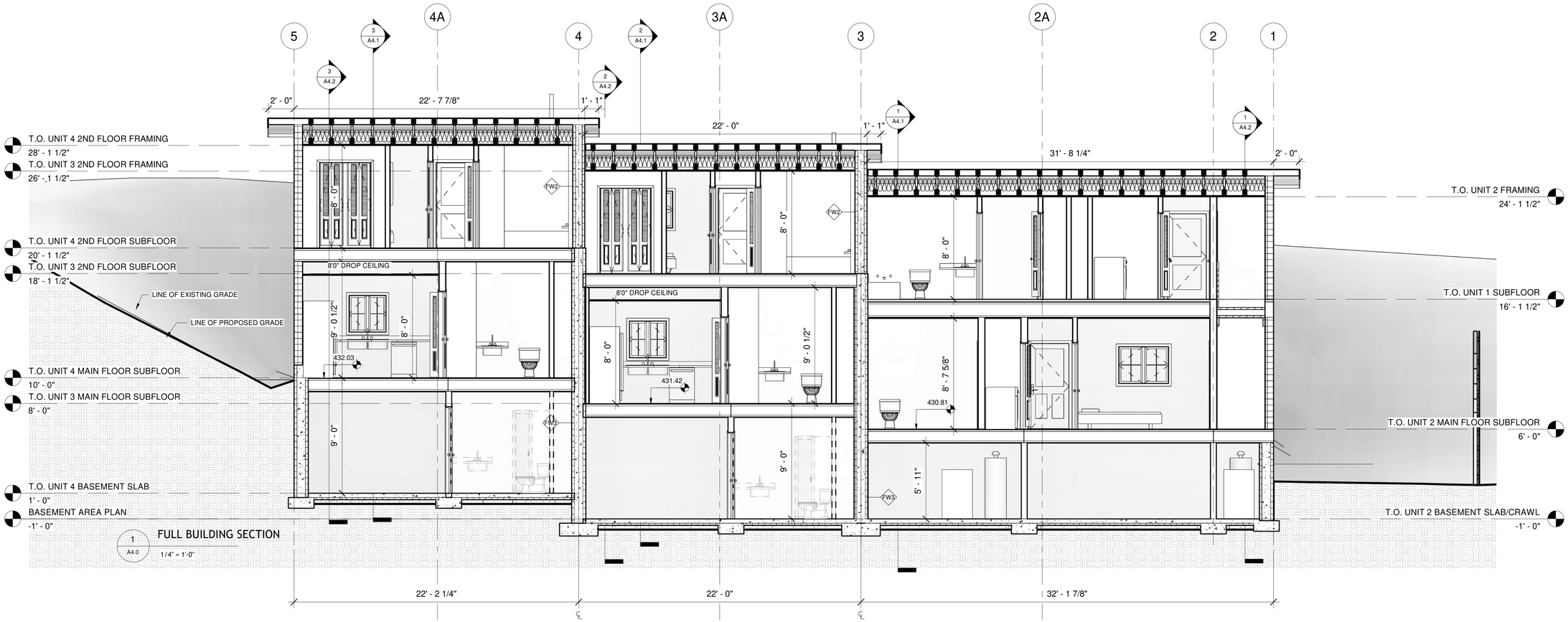
Drawing
N-S ELEVATIONS

Date 11/13/21	Project No. C21001 - 022
Designed RS/ST	Drawing File C21001 - 022 A1
Drawn RS	Scale 1/4" = 1'-0"
Checked ST/DW	Sheet No. A3.1 / Issue/Rev. A
Approved DS	



1 A4.0 FULL BUILDING SECTION

1/4" = 1'-0"

Dimensions to Face of Foundation or Framing Stud UNO.

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Habitat for Humanity

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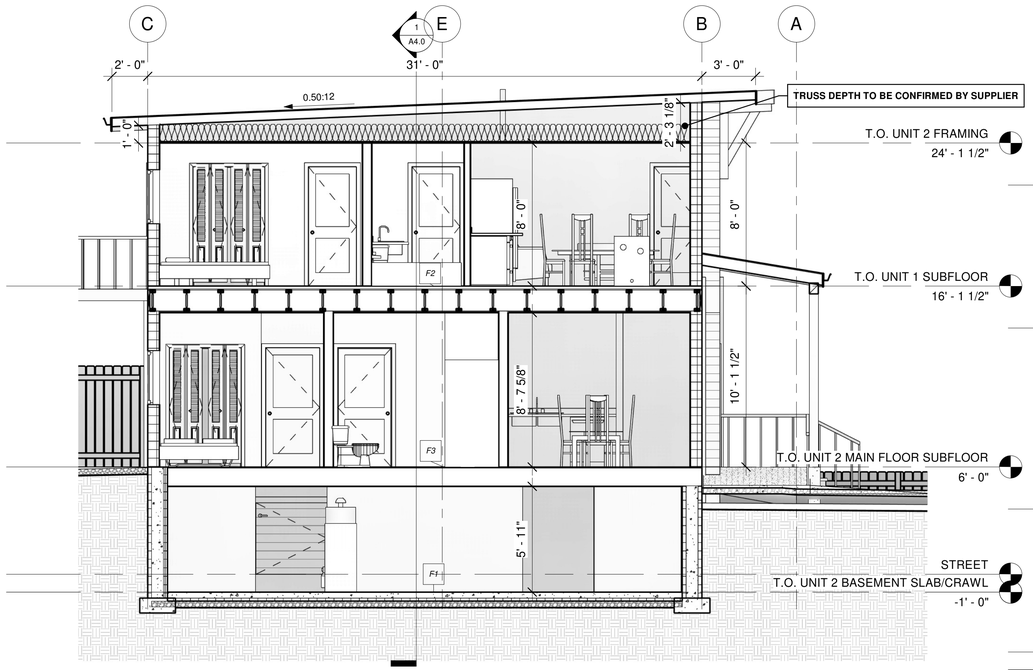
Castlegar, BC

Drawing
SECTIONS

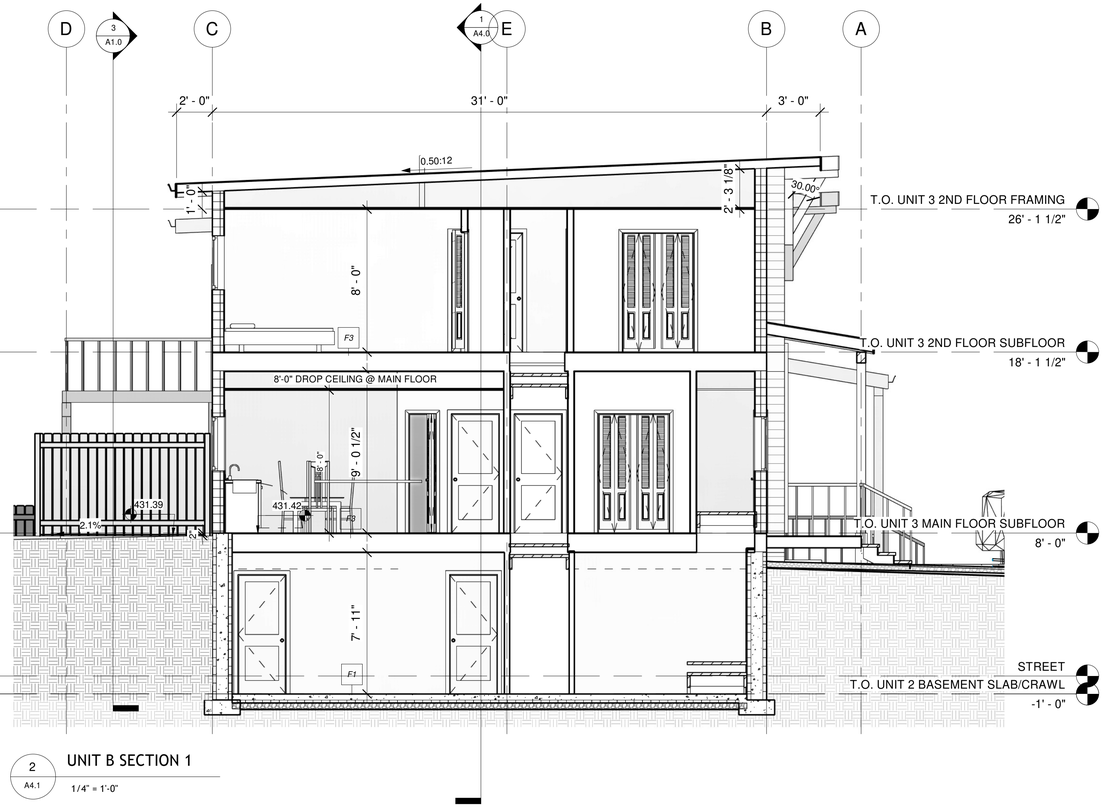
FOR BUILDING PERMIT
NOT FOR CONSTRUCTION

Date: 11/13/21	Project No.: C21001 - 022
Designed: RS/ST	Drawing File: C21001 - 022 A1
Drawn: RS	Scale: 1/4" = 1'-0"
Checked: ST/DW	Sheet No.: A4.0 / Issue/Rev.: A
Approved: DS	



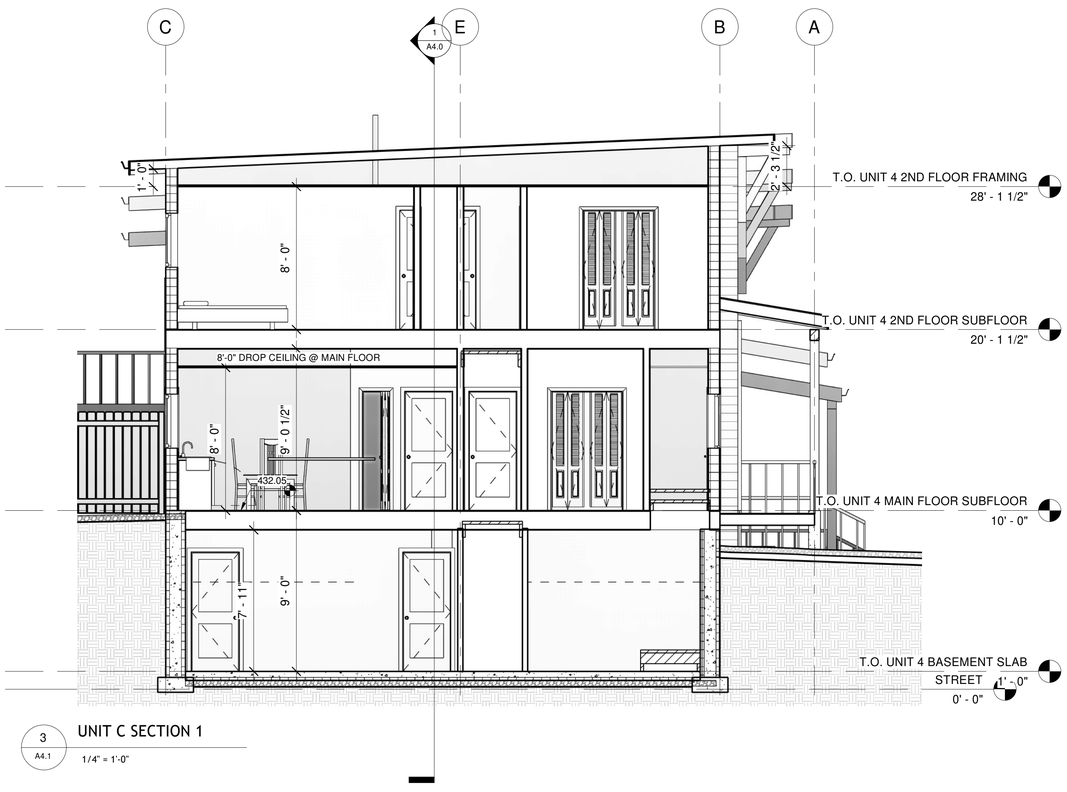
1 A4.1 UNIT A - SECTION 1

1/4" = 1'-0"



2 A4.1 UNIT B SECTION 1

1/4" = 1'-0"



3 A4.1 UNIT C SECTION 1

1/4" = 1'-0"

Dimensions to Face of Foundation or Framing Stud UNO.

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Project
Habitat for Humanity

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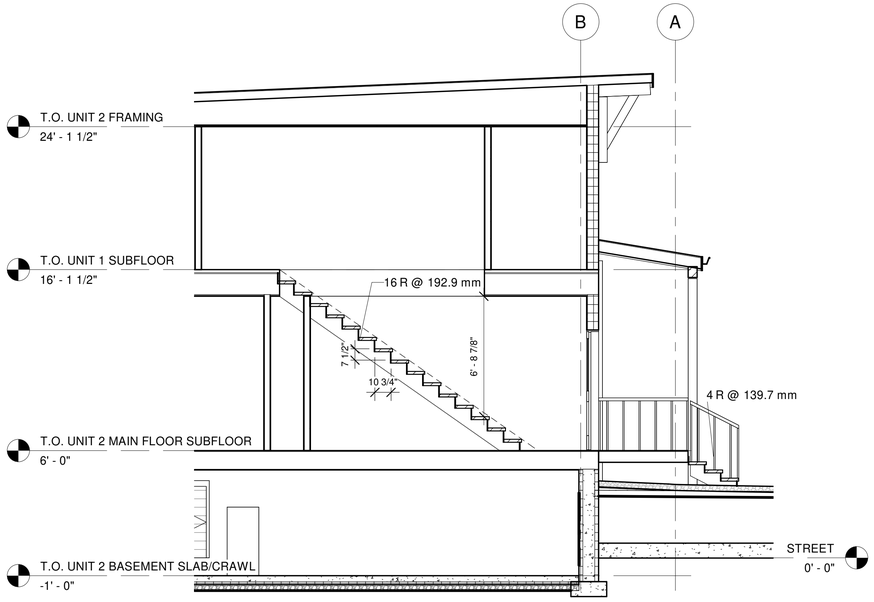
Castlegar, BC

Drawing
UNIT SECTIONS

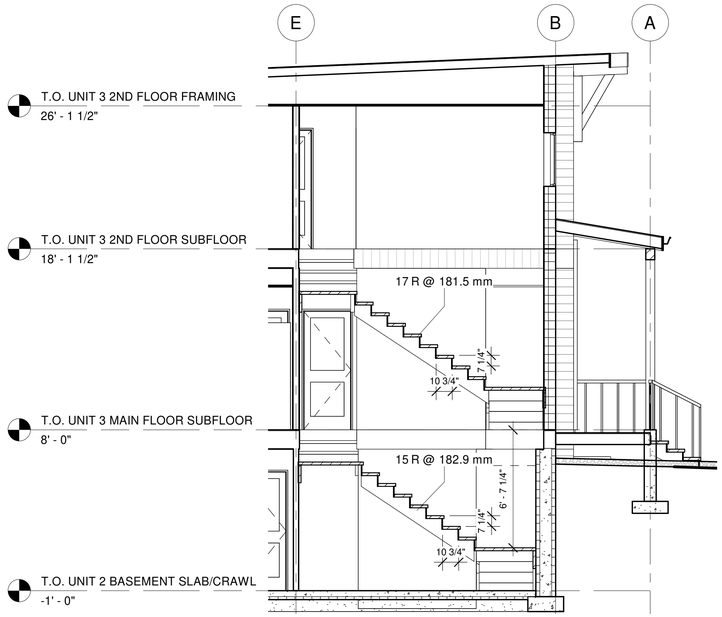
FOR BUILDING PERMIT
NOT FOR CONSTRUCTION

Date	11/13/21	Project No.	C21001 - 022
Designed	RS/ST	Drawing File	C21001 - 022 A1
Drawn	RS	Scale	1/4" = 1'-0"
Checked	ST/DW	Sheet No.	A4.1
Approved	DS	Issue/Rev.	A



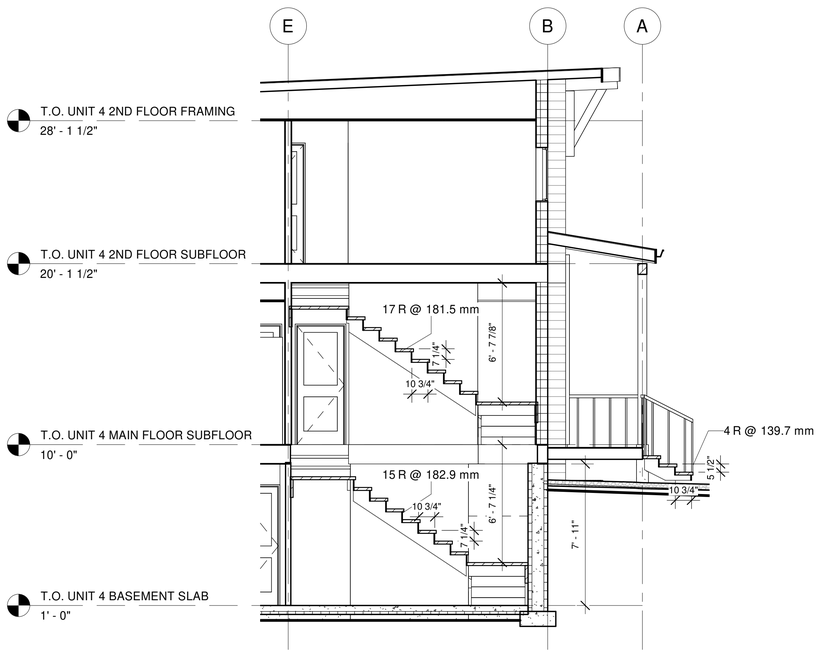
1 A4.2 UNIT A STAIR SECTION

1/4" = 1'-0"



2 A4.2 UNIT B STAIR

1/4" = 1'-0"



3 A4.2 UNIT C STAIR

1/4" = 1'-0"

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Project
Habitat for Humanity

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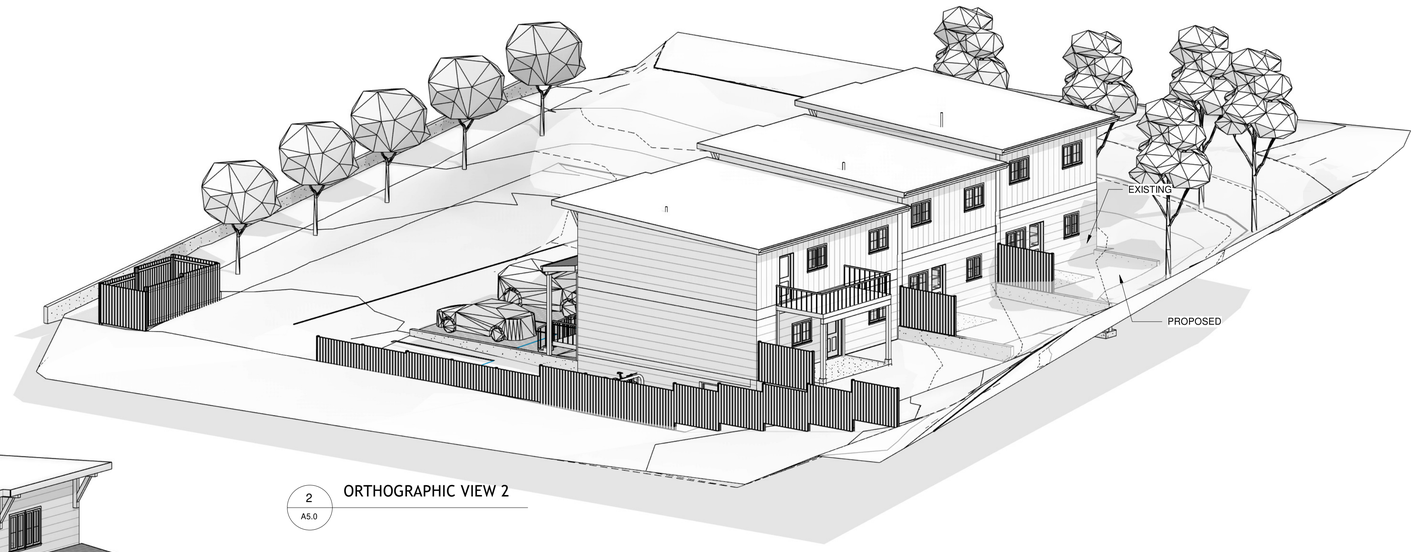
Castlegar, BC

Drawing
STAIR SECTIONS

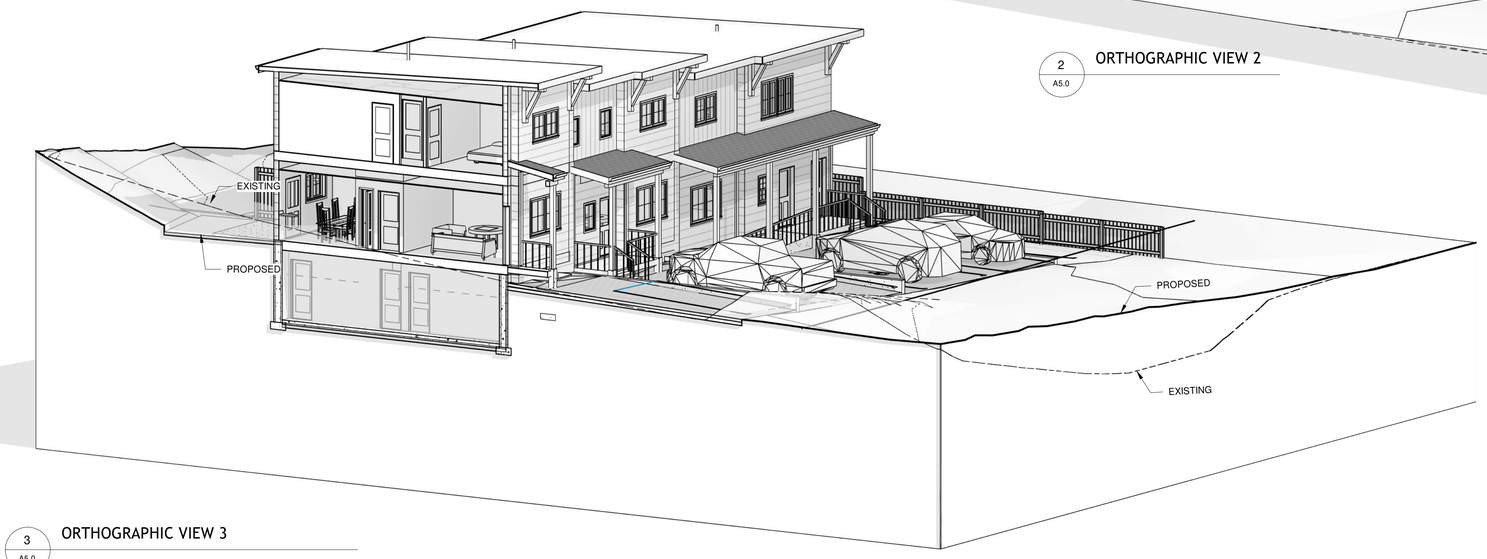
FOR BUILDING PERMIT
NOT FOR CONSTRUCTION

Date: 11/13/21	Project No.: C21001 - 022
Designed: RS/ST	Drawing File: C21001 - 022 A1
Drawn: RS	Scale: 1/4" = 1'-0"
Checked: ST/DW	Sheet No.: A4.2 / Issue/Rev.: A
Approved: DS	

1 A5.0 ORTHOGRAPHIC VIEW 1



2 A5.0 ORTHOGRAPHIC VIEW 2



3 A5.0 ORTHOGRAPHIC VIEW 3

Dimensions to Face of Foundation or Framing Stud UNO.

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Project
Habitat for Humanity

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Castlegar, BC

Drawing
PERSPECTIVES

FOR BUILDING PERMIT
NOT FOR CONSTRUCTION

Date	11/13/21	Project No.	C21001 - 022
Designed	RS/ST	Drawing File	C21001 - 022 A1
Drawn	RS	Scale	
Checked	ST/DW	Sheet No.	A5.0
Approved	DS	Issue/Rev.	A

1 A5.1 PERSPECTIVE 1

2 A5.1 PERSPECTIVE 2

3 A5.1 PERSPECTIVE 3

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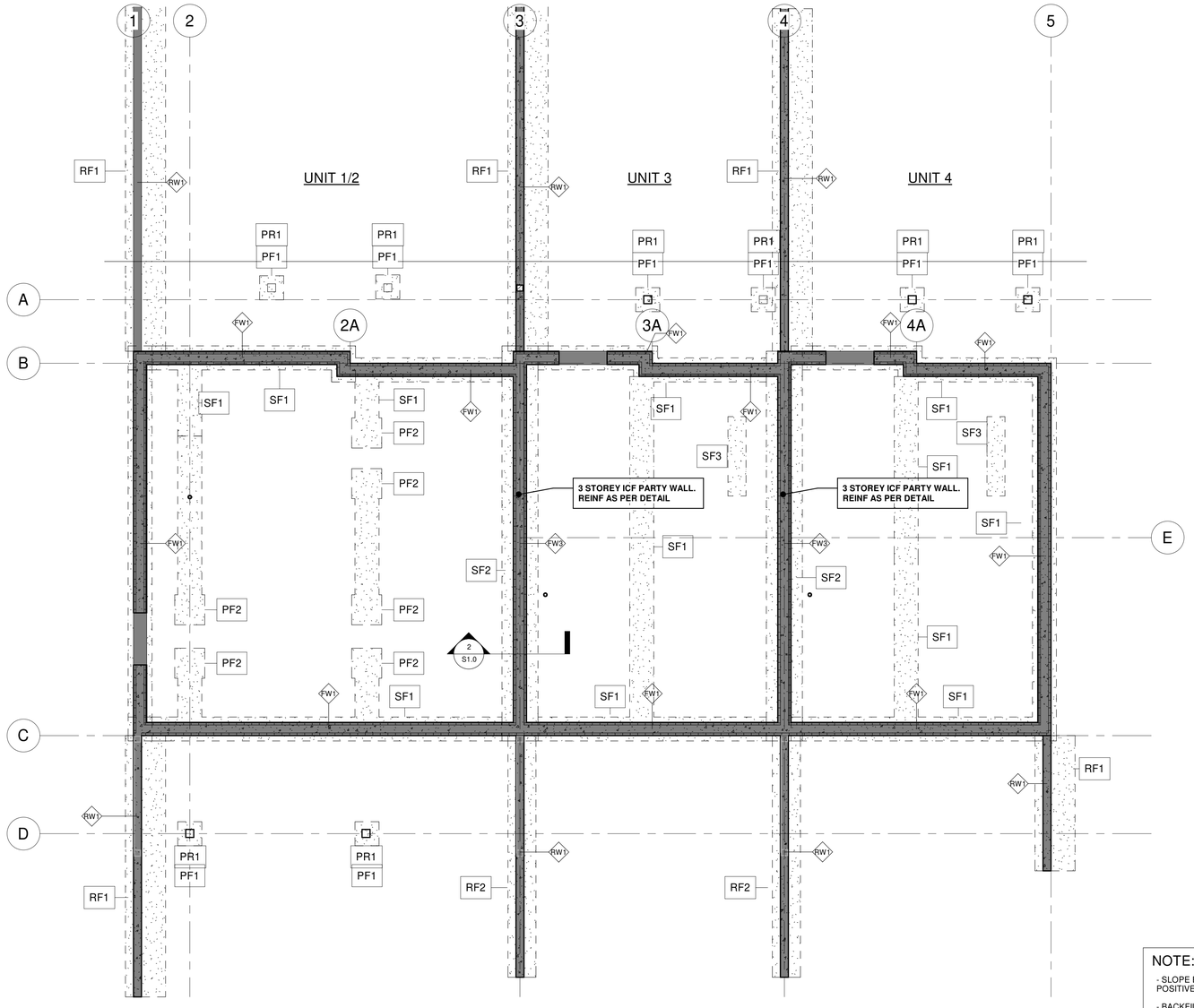
Project
Habitat for Humanity

560 8th Street
Castlegar, BC

Drawing
PERSPECTIVES 2

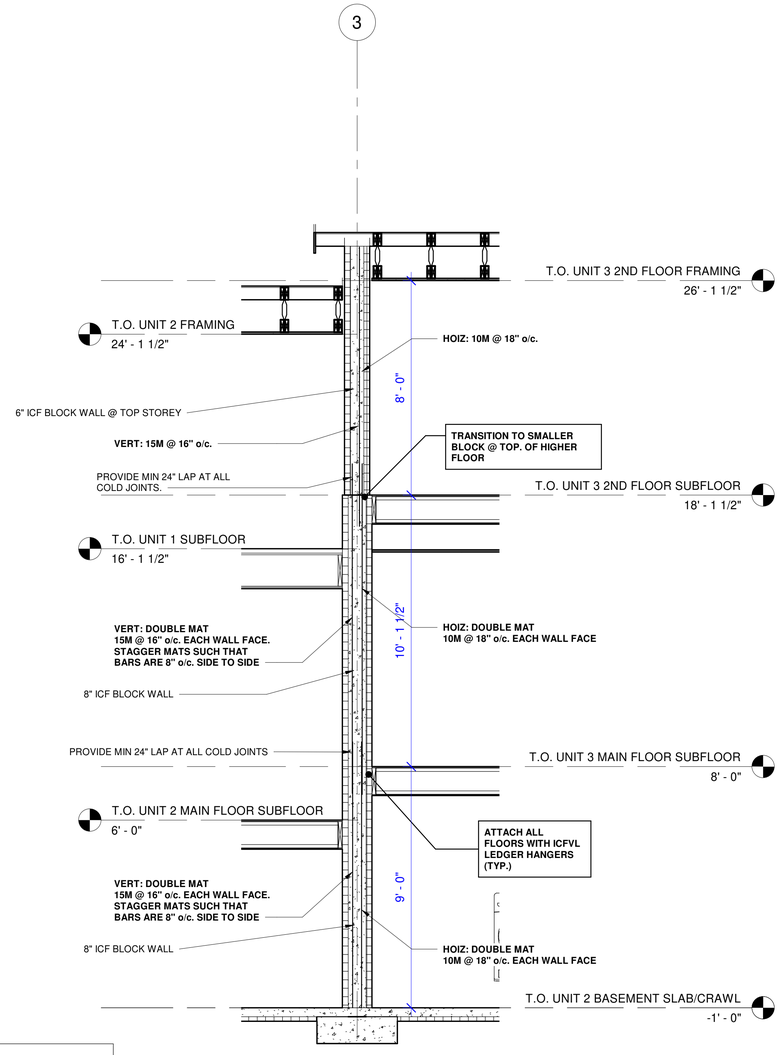
FOR BUILDING PERMIT
NOT FOR CONSTRUCTION

Date	11/13/21	Project No.	C21001 - 022
Designed	RS/ST	Drawing File	C21001 - 022 A1
Drawn	RS	Scale	
Checked	ST/DW	Sheet No.	A5.1
Approved	DS	Issue/Rev.	A



1 S1.0 FOUNDATION PLAN - STRUCT

3/16" = 1'-0"



2 S1.0 PARTY WALL SECTION

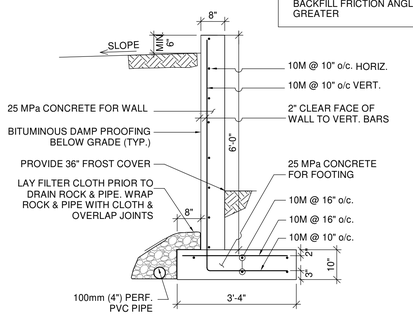
3/8" = 1'-0"

Structural Foundation Schedule

Type Mark	Type	Type Comments	Description	Concrete	Count
PF1	24" x 24" x 8"	(3) - 15M E/W	PAD FOOTING	MIN 25 mPa	8
PF2	30" x 30" x 10"	(3) - 15M E/W	PAD FOOTING	MIN 25 mPa	6
RF1	Med Retaining Ftg	AS PER DETAIL	RETAINING FOOTING	MIN 25 mPa	5
RF2	Small Retaining Ftg 2	AS PER DETAIL	RETAINING FOOTING	MIN 25 mPa	2
SF1	24" x 10"	(3) - 15M CONT. BARS	STRIP FOOTING	MIN 25 mPa	23
SF2	36" x 12"	(4) - 15M CONT. BARS	STRIP FOOTING	MIN 25 mPa	2
SF3	18" x 8"	(2) - 15M CONT. BARS	STRIP FOOTING	MIN 25 mPa	2

FOUNDATION WALL SCHEDULE

Mark	Type	Wall Make Up
FW1	8" ICF FOUNDATION WALL	- EXTERIOR SIDING AS PER CLIENT - STRAPPING AS REQ'D - DAMPPROOFING AS PER MFTR - 8" NUDURA ICF BLOCK REINF AS PER MFTR OR ENG. - INTEIOR VAPOUR BARRIER AS PER MFTR - 1/2" DRYWALL
FW2	6" ICF PARTY WALL	- 1/2" GYPSUM WALL BOARD TYPE X - INTERIOR VAPOUR BARRIER AS PER MFTR - 6" NUDURA ICF BLOCK REINFORCE w/ CENTER MAT OF REBAR VERT: 15M @ 16" o/c. HORIZ: 10M @ 18" o/c. OR AS PER BLOCK HEIGHT) - INTEIOR VAPOUR BARRIER AS PER MFTR - 1/2" GYPSUM WALL BOARD TYPE X
FW3	8" ICF PARTY WALL	- 1/2" GYPSUM WALL BOARD TYPE X - INTERIOR VAPOUR BARRIER AS PER MFTR - 8" NUDURA ICF BLOCK REINFORCE w/ DOUBLE MAT OF REBAR (1 @ EACH FACE) VERT: 15M @ 16" o/c. EACH SIDE. STAGGER MATS HORIZ: (2) - 10M @ 18" o/c. OR AS PER BLOCK HEIGHT) - INTERIOR VAPOUR BARRIER AS PER MFTR - 1/2" GYPSUM WALL BOARD TYPE X
RW1	8" CONC. RETAINING WALL	- 8" CAST IN PLACE CONC. REINF AS PER ENG - MAY ALSO BE LANDSCAPE ELEMENTS - IF HEIGHT <4'-0" REINF AS PER BCBC 2018



3 S1.0 UP TO 6'0" RETAINING WALL (RF1/RW1)

1/2" = 1'-0"

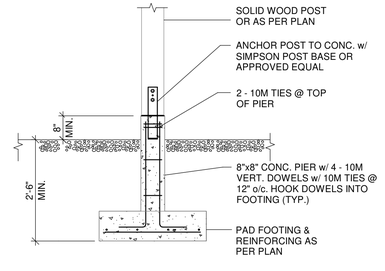
NOTE:

- SLOPE BACKFILL AWAY FROM WALL FOR POSITIVE DRAINAGE.

- BACKFILL TO BE FREE DRAINING GRANULAR MATERIAL.

- BACKFILL MUST BE HORIZONTAL OR SLOPING DOWN FROM WALL & NO SURCHARGE LOADING TO BE APPLIED WITHIN A DISTANCE EQUAL TO THE HEIGHT OF THE WALL

- GEOTECHNICAL ENGINEER TO CONFIRM SOIL BEARING CAPACITY MIN. 150kPa AND BACKFILL FRICTION ANGLE OF 34° OR GREATER



4 S1.0 EXTERIOR PAD FOOTING

1/2" = 1'-0"

FOR BUILDING PERMIT NOT FOR CONSTRUCTION

Dimensions to Face of Foundation or Framing Stud UNO.

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Habitat for Humanity® Southeast BC

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Project
Habitat for Humanity

560 8th Street
Castlegar, BC

Drawing
FOUNDATION PLAN AND DETAILS

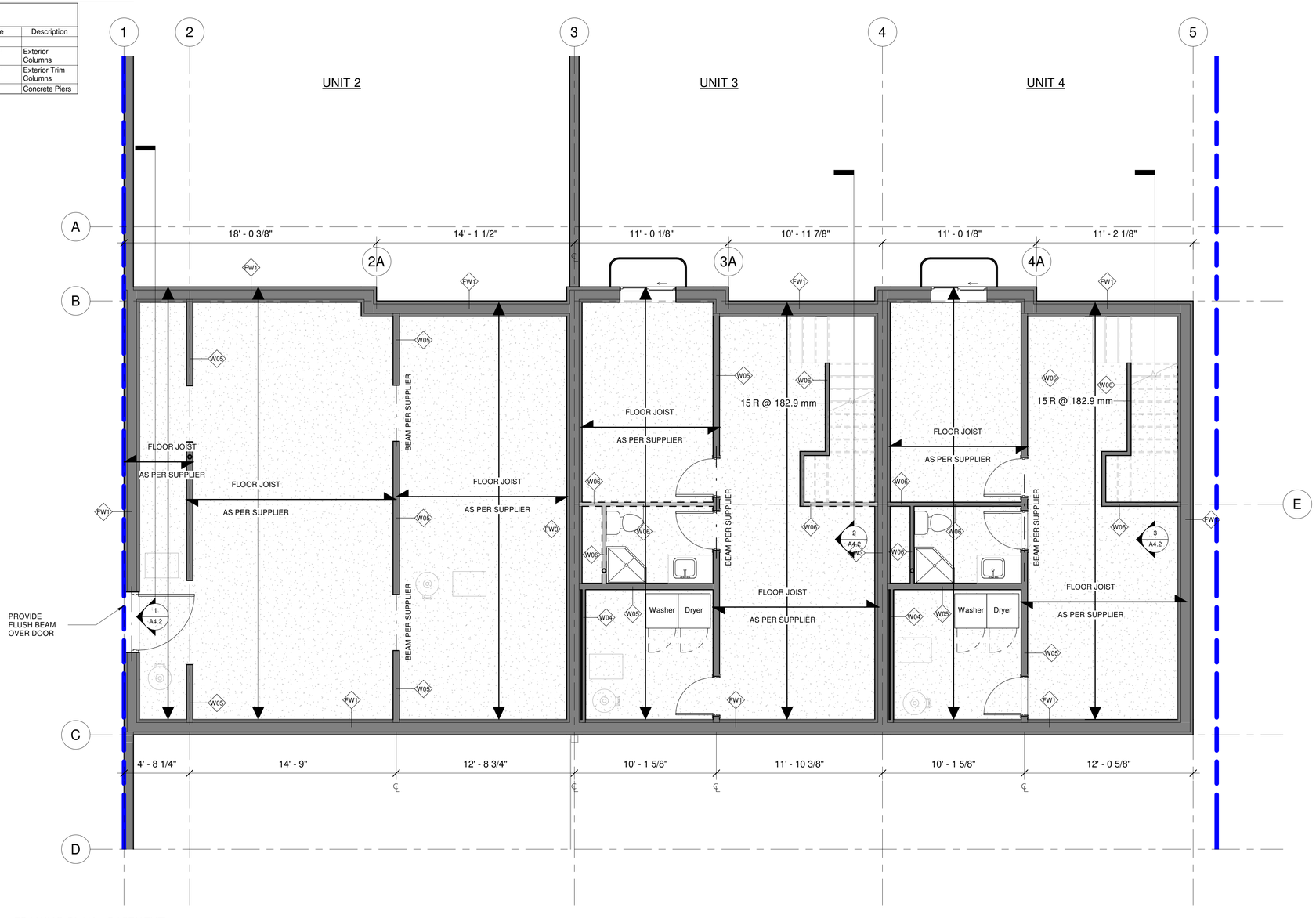
Date	11/13/21	Project No.	C21001 - 022
Designed	RS	Drawing File	C21001 - 022 A1
Drawn	RS	Scale	As indicated
Checked	DS	Sheet No.	S1.0
Approved	DS	Issue/Rev.	A

Structural Framing Schedule

Type Mark	Size	Material	Grade	Description	Comments
B1	6x8	D.Fir	No.1/No.2	Timber Eave Trim	
B2	6x6	D.Fir	No.1/No.2	Timber Eave Trim	
B3	(4) - PLY 2x8	SPF	No.1/No.2	Front Entry Roof	TRIM w/ TIMBER
B4	(4) - PLY 2x10	SPF	No.1/No.2	Rear Deck Support	TRIM w/ TIMBER

Structural Column Schedule

Type Mark	Size	Material	Grade	Description
	RADON			
C1	(4) - PLY 2x6	SPF	No.1/No.2	Exterior Columns
C2	3x6 TIMBER ACCENT	D.Fir	No.1/No.2	Exterior Trim Columns
PR1	8" x 8"	Concrete	25 mPa	Concrete Piers



1 S2.1 FRAMING PLAN - BASEMENT

1/4" = 1'-0"

Dimensions to Face of Foundation or Framing Stud UNO.

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Habitat for Humanity® Southeast BC

No.	Date	Issue/Revision
C	FEB 22/22	FOR BUILDING PERMIT
1	FEB 09/22	DETAILS ADDED, FLOOR PLAN UPDATES, SCHEDULES UPDATED AS PER DESIGN REVIEW MEETING
B	FEB 02/22	FOR DEVELOPMENT PERMIT
1	JAN 24/22	DETAILS ADDED, UNIT C ADJUSTED
A	JAN 21/22	ISSUED FOR COORDINATION

Professional Engineer Stamp:

WSA ENGINEERING (2012) LTD.
Civil ' Structural
2240 Columbia Ave, Castlegar, B.C. V1N 2X4 Ph: (888) 417-6927

Project
Habitat for Humanity

560 8th Street
Castlegar, BC

Drawing
BASEMENT FRAMING

Date	11/13/21	Project No.	C21001 - 022
Designed	RS	Drawing File	C21001 - 022 A1
Drawn	RS	Scale	1/4" = 1'-0"
Checked	DS	Sheet No.	S2.1
Approved	DS	Issue/Rev.	A

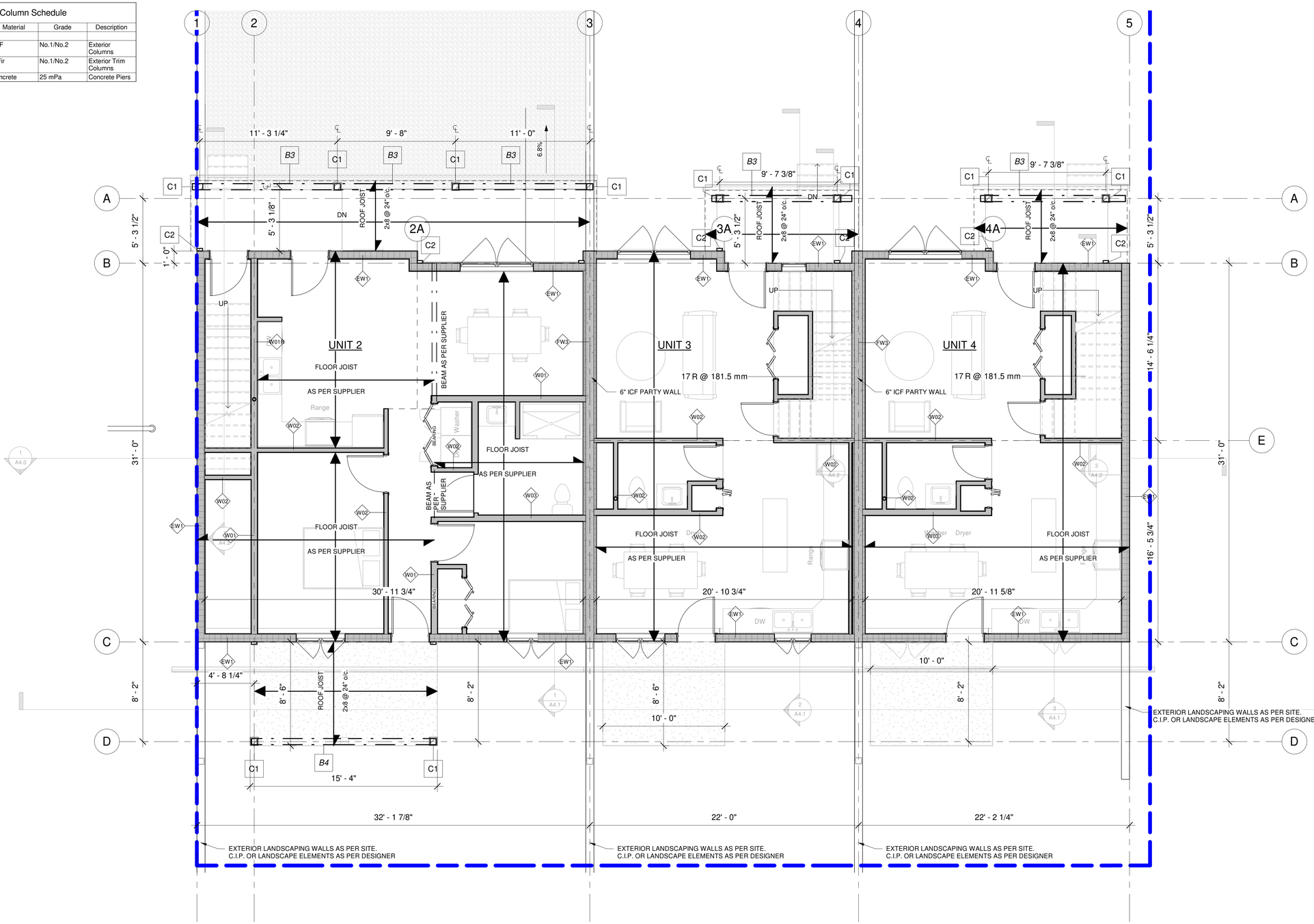
FOR BUILDING PERMIT
NOT FOR CONSTRUCTION

Structural Framing Schedule

Type Mark	Size	Material	Grade	Description	Comments
B1	6x8	D.Fir	No.1/No.2	Timber Eave Trim	
B2	6x6	D.Fir	No.1/No.2	Timber Eave Trim	
B3	(4) - PLY 2x8	SPF	No.1/No.2	Front Entry Roof	TRIM w/ TIMBER
B4	(4) - PLY 2x10	SPF	No.1/No.2	Rear Deck Support	TRIM w/ TIMBER

Structural Column Schedule

Type Mark	Size	Material	Grade	Description
	RADON			
C1	(4) - PLY 2x6	SPF	No.1/No.2	Exterior Columns
C2	3x6 TIMBER ACCENT	D.Fir	No.1/No.2	Exterior Trim Columns
PR1	8" x 8"	Concrete	25 mPa	Concrete Piers



1 S2.2 FRAMING PLAN - MAIN FLOOR

1/4" = 1'-0"

Dimensions to Face of Foundation or Framing Stud UNO.

DO NOT SCALE DRAWINGS
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Professional Engineer Stamp:

WSA ENGINEERING (2012) LTD.
Civil · Structural
2240 Columbia Ave. Castlegar, B.C. V1N 2X1 Ph: (888) 617-6927

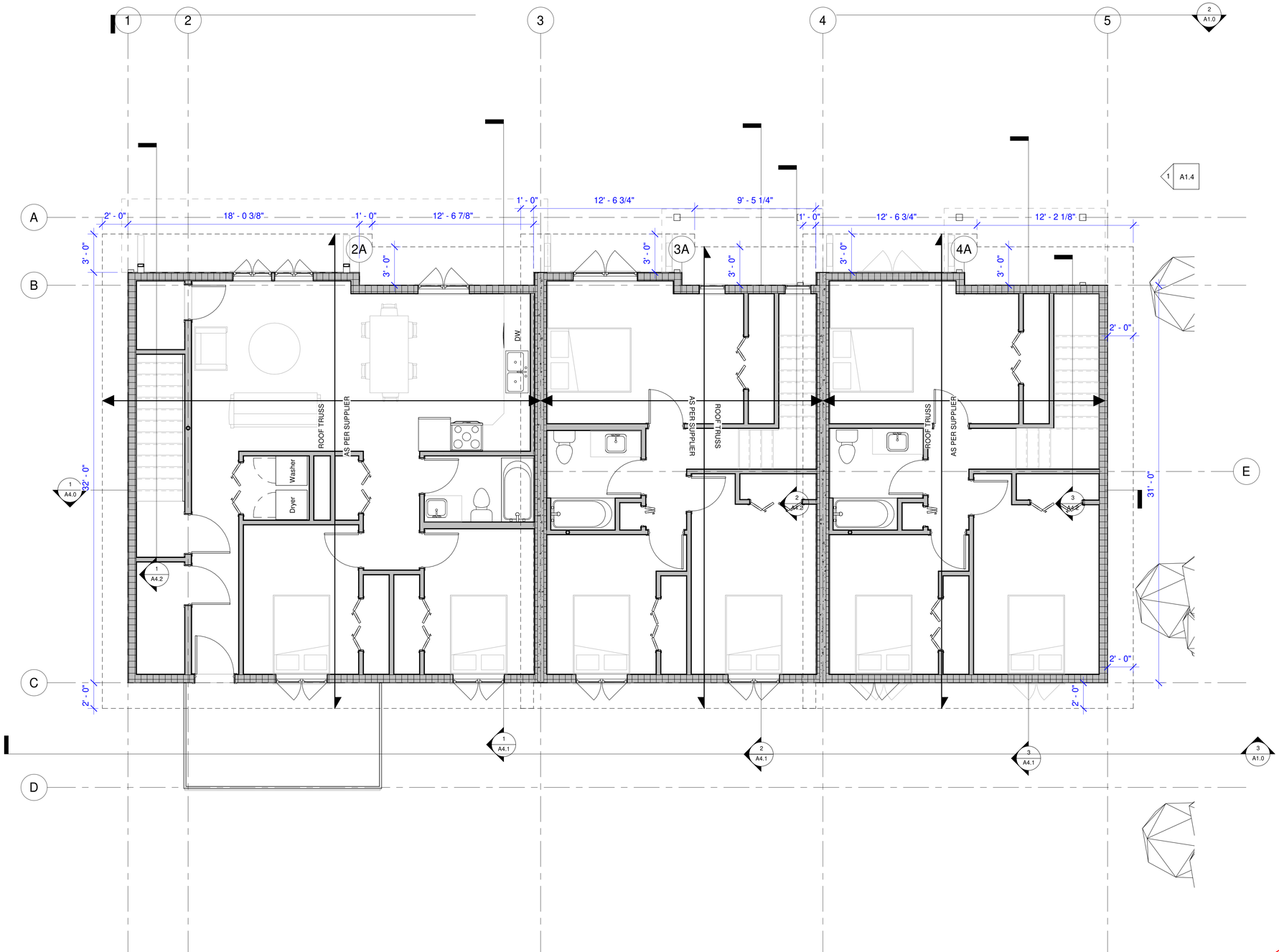
Project
Habitat for Humanity

560 8th Street
Castlegar, BC

Drawing
MAIN FLOOR FRAMING

Date	11/13/21	Project No.	C21001 - 022
Designed	RS	Drawing File	C21001 - 022 A1
Drawn	RS	Scale	1/4" = 1'-0"
Checked	DS	Sheet No.	S2.2
Approved	DS	Issue/Rev.	A

FOR BUILDING PERMIT
NOT FOR CONSTRUCTION



1 S2.3 FRAMING PLAN - SECOND FLOOR

1/4" = 1'-0"

Dimensions to Face of Foundation or Framing Stud UNO.

DO NOT SCALE DRAWINGS
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Habitat for Humanity® Southeast BC

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B	FEB 02/22	FOR DEVELOPMENT PERMIT
1	JAN 24/22	DETAILS ADDED, UNIT C ADJUSTED
A	JAN 21/22	ISSUED FOR COORDINATION

Professional Engineer Stamp:

WSA ENGINEERING (2012) LTD.
Civil ' Structural
2248 Columbia Ave. Castlegar, B.C. V1N 2X1 Ph: (888) 417-6927

Project
Habitat for Humanity

560 8th Street
Castlegar, BC

Drawing
UPPER FLOOR FRAMING

Date	11/13/21	Project No.	C21001 - 022
Designed	RS	Drawing File	C21001 - 022 A1
Drawn	RS	Scale	1/4" = 1'-0"
Checked	DS	Sheet No.	S2.3
Approved	DS	Issue/Rev.	A

FOR BUILDING PERMIT
NOT FOR CONSTRUCTION